

NOTICE OF REGULAR TELEPHONE/VIDEO CONFERENCE MEETING

October 6, 2020

MONTGOMERY PLANNING AND ZONING COMMISSION

STATE OF TEXAS

AGENDA

COUNTY OF MONTGOMERY

CITY OF MONTGOMERY

NOTICE TO THE PUBLIC IS HEREBY GIVEN in accordance with the order of the Office of the Governor issued March 16, 2020, the Montgomery Planning and Zoning Commission will conduct its Regular Meeting scheduled for **6:00 p.m. on Tuesday, October 6, 2020**, at City of Montgomery City Hall, 101 Old Plantersville Road, Montgomery, Texas via Zoom Teleconferencing.

This meeting will be closed to in-person attendance by the public. A temporary suspension of the Open Meetings Act to allow telephone or videoconference public meetings has been granted by Governor Greg Abbott. These actions are being taken to mitigate the spread of COVID-19 by avoiding meetings that bring people into a group setting and in accordance with Section 418.016 of the Texas Government Code. Telephonic and videoconferencing capabilities will be utilized to allow individuals to address the Commission. *Members of the public who wish to submit their written comments on a listed agenda item must submit their comments by email to dmccorquodale@ci.montgomery.tx.us by 3:00 p.m. on October 6, 2020.*

Members of the public are entitled to participate remotely via Zoom Teleconferencing. Citizens may join the Zoom Meeting by logging on: <https://us02web.zoom.us/j/81716770857> Meeting ID: **817 1677 0857**. They may also join by calling (346) 248-7799 and entering the Meeting ID: **817 1677 0857**. The Meeting Agenda Pack will be posted online at www.montgomerytexas.gov. The meeting will be recorded and uploaded to the City's website.

Notice - any person(s) using profane, abusive, or threatening language may result in them being removed from the Teleconference Meeting.

CALL TO ORDER

VISITOR/CITIZENS FORUM

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. The Commission may not discuss or take any action on any item but may place the issue on a future agenda.

CONSIDERATION AND POSSIBLE ACTION:

1. Consideration and possible action regarding regular meeting minutes of August 4, 2020.
2. Consideration and possible action on construction plans for Hills of Town Creek Section Four.
3. Consideration and possible action on a proposed driveway expansion at 415 Houston Street, a City-designated Historic Landmark.
4. Consideration and possible action on a proposed sign at 202 McCown Street Suite B located in the Historic Preservation District.
5. Consideration and possible action on a Special Use Permit request for 14348 Liberty Street by Cornerstone Community Church.

6. Consideration and possible action regarding the following exterior modifications at the Wings Over Montgomery restaurant, located at 14335 Liberty Street in the Historic Preservation District:
 - a) Wood deck approx. 5' x 26' x 1' ht on south side of building (existing)
 - b) Metal fence approx. 50' long x 6' ht on back side of building (existing)
 - c) Outdoor walk-in cooler approx. 6' x 6' x 8.5' ht on back of building (existing)
 - d) Exterior front façade lighting above porch to illuminate wall sign (existing)
 - e) Emergency generator located at the back of the building (proposed)

7. Consideration and possible action regarding the following exterior modifications at 504 Caroline Street in the Historic Preservation District:
 - a) Telephone booth (existing)
 - b) Parking lot (existing)
 - c) 3-ft ht wood picket fence (382 linear feet) (proposed)
 - d) 6-ft ht metal privacy fence (90 linear feet) (proposed)
 - e) 600 sq ft cottage (proposed)
 - f) 2nd story living area on main home above front porch (proposed)

COMMISSION INQUIRY:


Pursuant to Texas Government Code Sect. 551.042 the Planning & Zoning Commission may inquire about a subject not specifically listed on this Agenda. Responses are limited to recitation of existing policy or a statement of specific factual information given in response to the inquiry. Any deliberation or decision shall be limited to a proposal to place on the agenda of a future meeting.

EXECUTIVE SESSION:

The Planning and Zoning Commission reserves the right to discuss any of the items listed specifically under this heading or for any items listed above in executive closed session as permitted by law including if they meet the qualifications in Sections 551.071(consultation with attorney), 551.072 (deliberation regarding real property), 551.073 (deliberation regarding gifts), 551.076 (deliberation regarding security devices), and 551.087 (deliberation regarding economic development negotiations) of Chapter 551 of the Government Code of the State of Texas. *(There are no items at this time.)*

ADJOURNMENT




Susan Hensley, City Secretary

I certify that the attached notice of meeting was posted on the bulletin board at City of Montgomery City Hall, 101 Old Plantersville Road, Montgomery, Texas, on the 2nd day of October 2020 at 11:45 o'clock a.m. I further certify that the following news media was notified of this meeting as stated above: The Courier

This facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary's office at 936-597-6434 for further information or for special accommodations.

MINUTES OF REGULAR MEETING & PUBLIC HEARINGS

AUGUST 4, 2020

MONTGOMERY PLANNING AND ZONING COMMISSION

CALL TO ORDER

Chairman Cox declared a quorum was present and called the meeting to order at 6:00 p.m.

Present: Britnee Ghutzman, Bill Simpson, Nelson Cox, Jeffrey Waddell, Carol Langley

Absent: None

Also Present: Dave McCorquodale, Assistant City Admin. / Director of Planning & Development

VISITOR/CITIZENS FORUM

No comments.

1. Consideration and possible action regarding regular meeting minutes of July 7, 2020.

Jeffrey Waddell moved to approve the minutes as presented. Carol Langley seconded the motion, the motion carried unanimously. (5-0)

2. Consideration and possible action regarding exterior home repainting for 706 Caroline Street in the Historic Preservation District, as submitted by owners Jeff & Shawua Dodd.

Staff introduced the item and stated the owners had narrowed the proposed color schemes down to two options, and had not selected which one yet. Bill Simpson asked the applicants which color scheme was their preference. Mrs. Dodd explained she and her husband each liked one of the submitted schemes, and they would find either acceptable. Mrs. Langley asked if the applicant thought the dark scheme might be too overbearing, and Mrs. Dodd stated she understood that concern and felt that the darker wall color would still look pleasing. Mr. Waddell asked if the yellow would be as bright as the image, and Mrs. Dodd stated the yellow would be a closer to a Canary Yellow, but the computer image didn't capture the exact color correctly.

Commissioners Cox and Simpson lost power at their homes and their connection to the meeting was temporarily lost. Messrs. Cox and Simpson reconnected to the meeting after a brief delay.

Carol Langley moved to approve both color schemes as submitted and let the owners decide which one to choose, but to not allow mixing the proposed color schemes or adding new colors. Britnee Ghutzman seconded the motion, the motion carried unanimously. (5-0)

3. **Consideration and possible action regarding a sign application for The Gypsy Buffalo/The Rusted Leopard located at 312 John A. Butler Street in the Historic Preservation District, as submitted by owner Kimberly Turner.**

Staff introduced the item and explained the new sign would replace the “Urban Trenz” sign. Staff shared the proposed sign image on the computer screen, and Mrs. Langley asked about the material of the sign to clarify that the sign would not be a banner style attached to the wall. Mrs. Turner stated the sign material would be vinyl attached to the plexiglass face of the sign and be lit internally from the existing sign. Mr. Simpson asked to clarify that the proposed sign would fit completely within the structure of the existing sign. Mrs. Turner confirmed it would.

Bill Simpson moved to approve the sign as presented. Carol Langley seconded the motion, the motion carried unanimously. (5-0)

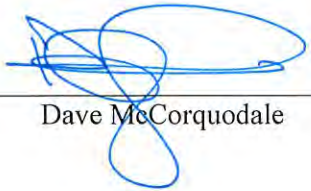
Commission Inquiry

Chairman Cox stated there had been citizen input over the past several weeks regarding previously approved items, and the P&Z Commission is dedicated to following the rules set out by the ordinances under their administration. Commissioner Simpson stated he also felt that everyone should follow the rules and protocols set out by the City. Mrs. Langley stated she did not feel tricked into approving items previously brought before the Commission.

Commissioner Waddell stated he did not want P&Z to always need to approve things after the fact and that communication is key. Chairman Cox stated he appreciated the fact that the online meetings are recorded as a public record. Commissioner Waddell asked to revisit the sign ordinance and look at banners that are appearing around the Historic District that are not approved. Mr. McCorquodale stated he would bring information back to the Commission on that item. Chairman Cox requested that all applicants for items on the agenda should be present in case questions arise that need to be answered.

Adjournment

Carol Langley moved to adjourn the meeting at 6:37 p.m. Bill Simpson seconded the motion, the motion carried unanimously. (5-0)

Prepared by:  _____ Date approved: _____
Dave McCorquodale

Chairman Nelson Cox

Attest: _____
Susan Hensley, City Secretary

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: October 6, 2020	Budgeted Amount: N/A
Prepared By: Dave McCorquodale	Exhibits: Plans & engineer's memo

Subject

Consideration and possible action on construction plans for Hills of Town Creek Section Four.

Description

The construction plans for the subdivision have been reviewed and approved by the city engineer. Attached are the plans and the engineer's memo.

Recommendation

Approve the construction plans as submitted contingent on the developer providing landscape plans for the proposed amenity park and an executed detention pond maintenance agreement prior to the City's acceptance of the public infrastructure and the issuance of any building permits for the homes.

Approved By

Asst. City Administrator	Dave McCorquodale 	Date: 10/01/2020
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1575 Sawdust Road, Suite 400
The Woodlands, Texas 77380
Tel: 281.363.4039
Fax: 281.363.3459
www.jonescarter.com

October 1, 2020

The Planning and Zoning Commission
City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316


Re: Approval of Construction Drawings
Hills of Town Creek Sec. 4 (Dev. No. 2004)
City of Montgomery

Dear Commission:

We reviewed plans for the proposed Hills of Town Creek Sec. 4 development on behalf of The City of Montgomery (the "City"). We offer no objections to the plans as submitted to us. We recommend the Commission approve the construction plans as provided and require the developer to provide landscape plans for the proposed amenity park and an executed detention pond maintenance agreement prior to the City's acceptance of the public infrastructure and the issuance of any building permits for the homes.

If you have any questions or comments, please contact me.

Sincerely,


Chris Roznovsky, PE
Engineer for the City

CVR/ab

K:\W5841\W5841-2004-00 Hills of Town Creek Sec. 4\Project Management\Letters\MEMO to P&Z RE Hills of Town Creek Sec. 4 Approval 09292020.docx

Enclosure: Construction Plans – Hills of Town Creek Sec. 4
Cc (via email): Mr. Richard Tramm – City of Montgomery, City Administrator
Ms. Susan Hensley – City of Montgomery, City Secretary
Mr. Mike Muckleroy – City of Montgomery, Director of Public Works
Mr. Dave McCorquodale – City of Montgomery, Director of Planning & Development

CITY OF MONTGOMERY, TEXAS

HILLS OF TOWN CREEK

SECTION 4

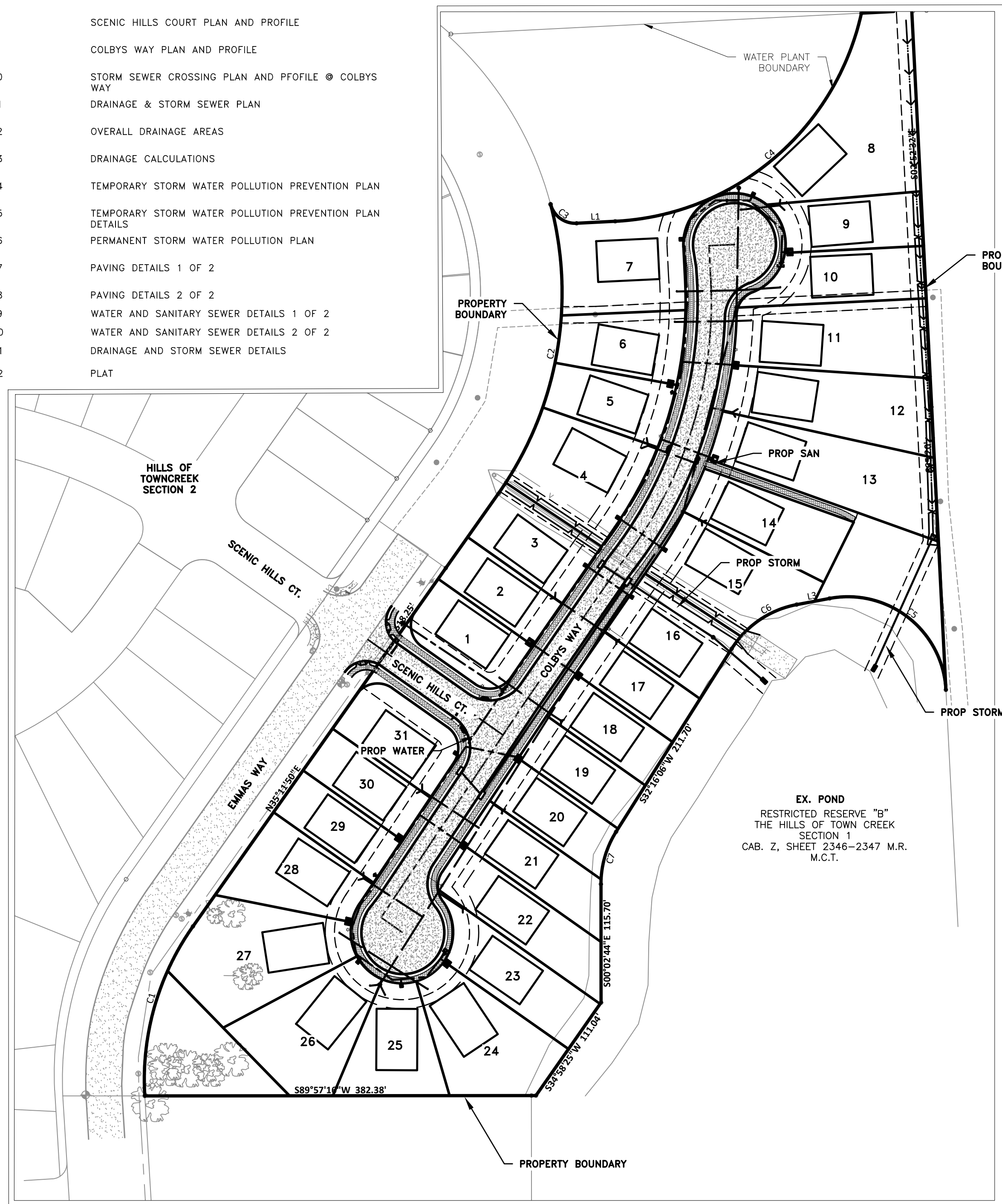
PUBLIC IMPROVEMENTS: WATER, SEWER, ROADS, DRAINAGE

(DEV NO. 2004)

PROJECT NOTES

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	CONSTRUCTION NOTES & LEGEND
3	EXISTING SURVEY, DEMOLITION PLAN & TREE PRESERVATION PLAN
4	OVERALL SITE PLAN AND PAVING PLAN
5	LANDSCAPE PLAN
6	GRADING PLAN
7	UTILITY PLAN
8	SCENIC HILLS COURT PLAN AND PROFILE
9	COLBYS WAY PLAN AND PROFILE
10	STORM SEWER CROSSING PLAN AND PROFILE @ COLBYS WAY
11	DRAINAGE & STORM SEWER PLAN
12	OVERALL DRAINAGE AREAS
13	DRAINAGE CALCULATIONS
14	TEMPORARY STORM WATER POLLUTION PREVENTION PLAN
15	TEMPORARY STORM WATER POLLUTION PREVENTION PLAN DETAILS
16	PERMANENT STORM WATER POLLUTION PLAN
17	PAVING DETAILS 1 OF 2
18	PAVING DETAILS 2 OF 2
19	WATER AND SANITARY SEWER DETAILS 1 OF 2
20	WATER AND SANITARY SEWER DETAILS 2 OF 2
21	DRAINAGE AND STORM SEWER DETAILS
22	PLAT



PROJECT MAP
SCALE: 1" = 80'

ENGINEER'S CERTIFICATION:
I CERTIFY THAT THESE PLANS WHICH BEAR MY SEAL HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND ARE IN COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS. THIS PROPOSED SITE WILL NOT IMPED THE FLOW OF SURFACE WATERS FROM HIGHER ADJACENT PROPERTIES, WILL NOT ALTER THE NATURAL FLOW OF SURFACE WATERS SO AS TO DISCHARGE THEM UPON ADJACENT PROPERTIES AT A MORE RAPID RATE OR IN A DIFFERENT LOCATION, AND WILL NOT CONCENTRATE FLOWS OF SURFACE WATERS IN A MANNER WHICH EXCEEDS THE CAPACITY OF THE RECEIVING WATERCOURSE.

CIVIL NOTE:
FIELD VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS INCLUDING PAVEMENT AND UTILITY TIE-INS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ALL DISCREPANCIES PRIOR TO BEGINNING ANY WORK.

TDLR NOTE:
TEXAS DEPARTMENT OF LICENSING AND REGISTRATION (TDLR) NUMBER REQUIRED FOR ALL PROPOSED COMMERCIAL BUILDINGS. **IF TDLR NUMBER IS NOT PRESENT, CLIENT IS RESPONSIBLE FOR ACQUIRING REGISTRATION NUMBER PRIOR TO CONSTRUCTION.

LEGAL DESCRIPTION:
Being 8.1365 acres (354,425 square feet) of land, out of the Remainder of a called 79.905 acres, conveyed to Christian C. Cheatham and Mary E. Cheatham, by deed recorded under County Clerk's File Number (C.F.N.) 2001-065611 Official Public Records of Montgomery County, Texas (O.P.R. M.C.T.), said Benjamin Rigby League, Abstract 31, and being more particularly described by metes and bounds as follows:

BEGINNING at a found 5/8 inch iron rod in the east right-of-way (R.O.W.) of Emma's Way, 80' public R.O.W., marking the northwest corner of Restricted Reserve "A", The Hills of Town Creek, Section 1, recorded under Cabinet Z, Sheet 2346-2347 Map Records of Montgomery County, Texas (M.R. M.C.T.), also being the southwest corner of the herein described tract;
THENCE along said east R.O.W. line and a curve to the RIGHT,

having a radius of 260.00 feet, a delta angle of 38°41'38", and whose long chord bears North 15°50'59" East, a distance of 172.27 feet, for an arc length of 175.59 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of tangency of the herein described tract;
THENCE North 35°11'50" East, continuing along said east R.O.W. line, passing at a distance of 432.10 feet a found 5/8 inch iron rod with cap, marking the east corner of said Emma's Way and continuing for a total distance of 518.25 feet to a point for corner, marking a point of curvature of the herein described tract;
THENCE along a curve to the LEFT, having a radius of 340.00 feet, a delta angle of 49°58'54", and whose long chord bears North 10°12'24" East, a distance of 287.28 feet, for an arc length of 296.60 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of curvature of a called 1.223 acres, conveyed to City of Montgomery, by deed recorded under C.F.N. 2012076184 O.P.R. M.C.T., also being the northwest corner of the herein described tract;
THENCE along the south line of said 1.223 acres and a curve to the LEFT, having a radius of 25.00 feet, a delta angle of 78°06'01", and whose long chord bears South 53°51'15" East, a distance of 31.50 feet, for an arc length of 34.08 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of tangency of the herein described tract;
THENCE North 87°05'32" East, continuing along said south line, a distance of 37.81 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of curvature of the herein described tract;
THENCE along continuing along said south line and a curve to the LEFT, having a radius of 260.00 feet, a delta angle of 74°38'06", and whose long chord bears North 49°46'29" East, a distance of 315.24 feet, for an arc length of 338.68 feet to a set 5/8 inch iron rod with cap stamped "Core 6657" in the south line of a called 12.384 acres, conveyed to WTRM Barrier Real Estate, LP, by deed recorded under C.F.N. 2013067842 O.P.R. M.C.T., marking the most northerly northwest corner of the herein described tract;
THENCE North 87°05'32" East, along the south line of said 12.384 acres, a distance of 49.29 feet to a point in the west line of a called 61.8107 acres, conveyed to Montgomery Independent School District, by deed recorded under C.F.N.

APPROVED VARIANCES:

- MAY 12, 2020: LOT WIDTH, ORDINANCE 2014-03
- MAY 12, 2020: LOT SIZE, ORDINANCE 2014-03
- JUNE 9, 2020: SIDE YARD SETBACK, ORDINANCE 2014-03

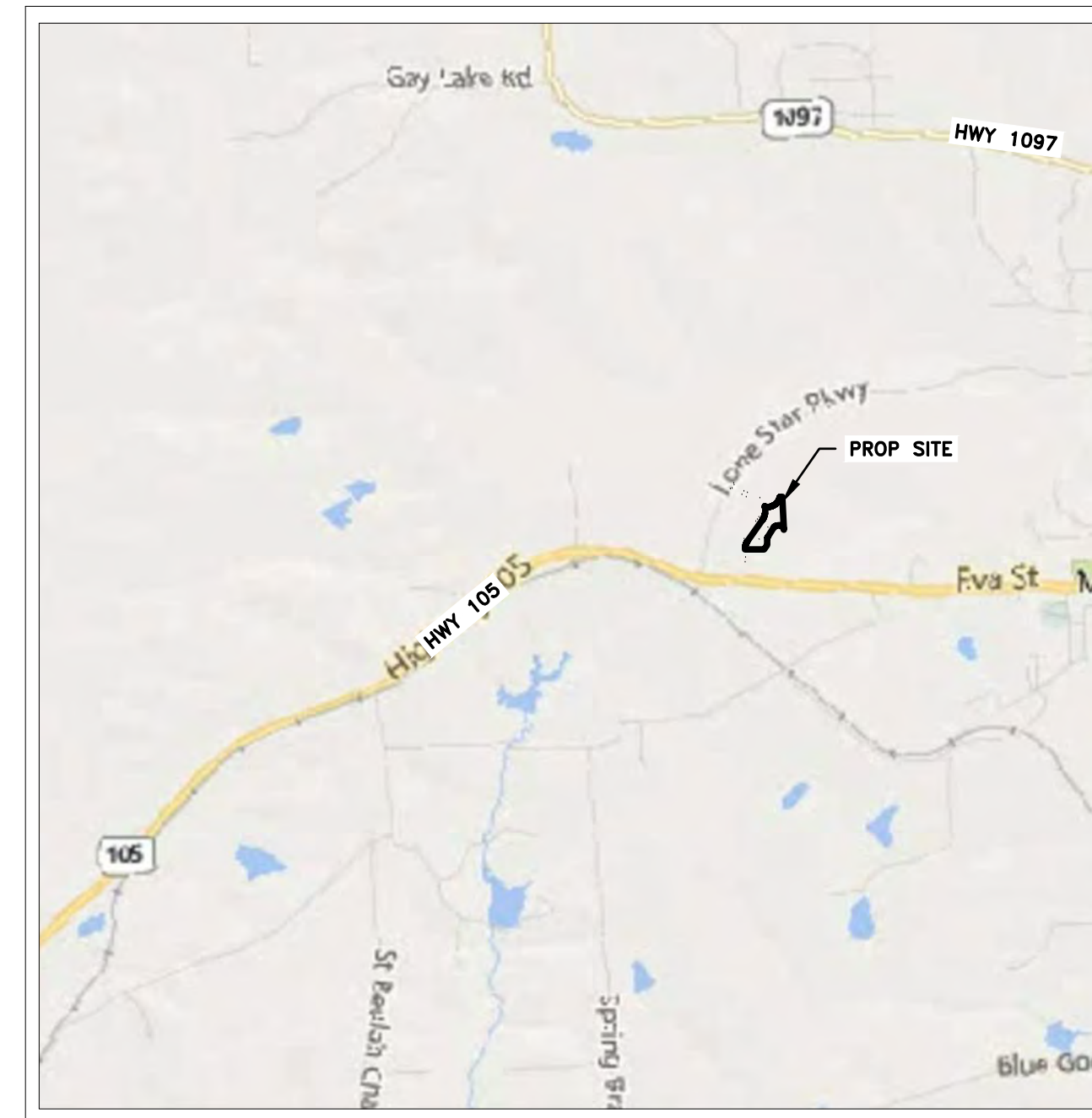
2001-065612 O.P.R. M.C.T., also being the southeast corner of said 12.384 acres and the northeast corner of the herein described tract, from which a found 2 inch iron pipe, bears South 69°53'35" East, a distance of 1.21 feet and a 5/8 inch iron rod bears North 89°37'58" East, a distance of 14.37 feet;
THENCE South 02°52'32" East, along said west line of said 61.8107 acres, a distance of 665.20 feet to a set 5/8 inch iron rod with cap stamped "Core 6657" to a point of curvature of Restricted Reserve "B", The Hills of Town Creek, Section 1, by deed recorded under Cabinet Z, Sheet 2346-2347 M.R. M.C.T., also being the southeast corner of the herein described tract;
THENCE along the north line of Restricted Reserve "B" and a curve to the LEFT, having a radius of 96.00 feet, a delta angle of 97°43'25", and whose long chord bears North 51°46'06" West, a distance of 144.60 feet, for an arc length of 163.74 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of tangency of said Restricted Reserve "B" and the herein described tract;
THENCE South 79°22'17" West, continuing along said north line, a distance of 32.88 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of curvature of said Restricted Reserve "B" and the herein described tract;
THENCE along continuing along said north line and a curve to the LEFT, having a radius of 96.00 feet, a delta angle of 47°06'15", and whose long chord bears South 55°49'11" West, a distance of 76.72 feet, for an arc length of 78.92 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of tangency of said Restricted Reserve "B" and the herein described tract;
THENCE South 32°16'06" West, along said west line of said Restricted Reserve "B", a distance of 211.70 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking a point of curvature of said Restricted Reserve "B" and the herein described tract;
THENCE along continuing along said west line and a curve to the LEFT, having a radius of 96.00 feet, a delta angle of 32°18'55", and whose long chord bears South 16°06'41" West, a distance of 53.43 feet, for an arc length of 54.14 feet to a point of tangency of said Restricted Reserve "B" and the herein described tract;
THENCE South 00°02'44" East, continuing along said west line, a distance of 115.70 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking an angle point of said Restricted Reserve "B" and the herein described tract;
THENCE South 34°58'25" West, continuing along said west line, a distance of 111.04 feet to a set 5/8 inch iron rod with cap stamped "Core 6657", marking an angle point of said Restricted Reserve "B" and the herein described tract;
THENCE South 89°57'16" West, passing at a distance of 4.50 feet to a found 5/8 inch iron rod with cap, marking the northeast corner of said Restricted Reserve "A", for a total distance of 382.38 feet to the POINT OF BEGINNING and containing a computed 8.1365 acres (354,425 square feet) of land.

BENCHMARK:

MONT 3 ELEV.=268.73'
3" BRASS DISK LOCATED FROM THE INTERSECTION OF HWY 105 AND HWY 149, WEST 47'00" TO THE PARKING LOT OF THE HERITAGE HOUSE RESTAURANT, WHICH IS LOCATED ON THE NORTH SIDE OF HWY 105.
MONT 7 ELEV.=291.77'
3" BRASS DISK IS LOCATED IN THE CENTER OF MONTGOMERY ON THE SOUTH SIDE OF HWY 105. MARK IS IN FRONT (NORTH) OF GAS PUMPING AREA OF BROOKSHIRE BROTHERS GROCERY STORE, AS WELL AS ACROSS HWY 105(SOUTH) FROM THE OLDE SCHOOL HOUSE.
TEMPORARY BENCHMARK "A" ELEV.=316.35'
CUT SQUARE IN CONCRETE ON B-B INLET LOCATED SOUTHEAST FROM SCENIC HILLS COURT AND EMMA'S WAY INTERSECTION.

FLOODPLAIN:

This site (proposed area) is situated in Zone "X" in Montgomery County, Texas according to FEMA map number 48339C0200G dated August 18, 2014: This statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This determination has been made by scaling the property on the referenced map and is not the result of an elevation survey. This flood statement shall not create liability on the part of the surveyor.



PROJECT LOCATION
KEY MAP#: 122U



L SQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.L2ENGINEERING.COM
21123 EVA STREET #200
MONTGOMERY, TEXAS 77156
OFFICE: 936-647-0420

CLIENT INFORMATION
CHEATHAM MANAGEMENT, LLC
CHIRS CHEATHAM
PO BOX 234
MONTGOMERY, TX 77156

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 4
COVER SHEET

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		
AS SHOWN	01		



09/15/2020

CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE

REFERENCE SPECIFICATIONS:

APPLICABLE ENTITY DETAILS & SPECIFICATIONS SHALL APPLY. WHEN NO SUCH INFORMATION EXISTS, CONTRACTOR SHALL THEN REFERENCE CITY OF MONTGOMERY DETAILS AND SPECIFICATIONS.

GENERAL CONSTRUCTION NOTES:

- MATERIALS, CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH THE GOVERNING ENTITY'S ORDINANCES AND SPECIFICATIONS, LATEST PRINTING AND AMENDMENTS THERETO.
- CONTRACTOR TO OBTAIN ALL DEVELOPMENT AND CONSTRUCTION PERMITS REQUIRED BY ALL ENTITIES AT HIS EXPENSE PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS 48 HOURS PRIOR TO COMMENCEMENT OF WORK IN STREET RIGHTS-OF-WAY OR EASEMENTS.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE COMPLETED OR DEFINITE, BUT WERE OBTAINED FROM THE BEST INFORMATION AVAILABLE. CONTRACTOR HAS SOLE RESPONSIBILITY FOR FIELD VERIFICATION OF ALL EXISTING FACILITIES SHOWN ON DRAWINGS. CONTRACTOR SHALL COORDINATE ALL CONFLICTS WITH THE APPROPRIATE GOVERNING AGENCY.
- THE LOCATION OF LUPIN-CORNIUS TELEPHONE EXCHANGE OR AT&T COMPANY, ENTITY, AND ENTERTY-GSU (Gulf States Utilities) UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL REQUEST THE EXACT LOCATION OF THESE FACILITIES BY CALLING THE UTILITY COMPANIES. AT LEAST 48 HOURS BEFORE COMMENCING WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH OCCURS DUE TO HIS FAILURE TO REQUEST THE LOCATION AND PRESERVATION OF THESE UNDERGROUND FACILITIES. ANY DAMAGE TO EXISTING FACILITIES INCURRED AS A RESULT OF CONSTRUCTION OPERATIONS WILL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- TEXAS LAW ARTICLE 1436C PROHIBITS ALL ACTIVITIES IN WHICH PERSONS OR EQUIPMENT MAY COME WITHIN 6 FEET OF ENERGIZED OVERHEAD POWER LINES, AND FEDERAL REGULATION TITLE 29, PART 1910.1301(i) AND PART 1228.440 (b) (15) REQUIRE A MINIMUM CLEARANCE OF 10 FEET FROM THESE FACILITIES. THE ABOVE LAWS CARRY BOTH CRIMINAL AND CIVIL LIABILITIES. WITH CONTRACTORS AND OWNERS BEING LEGALLY RESPONSIBLE FOR THE SAFETY OF WORKERS UNDER THESE LAWS, IF YOU OR YOUR COMPANY MUST WORK NEAR ENERGIZED OVERHEAD POWER LINES, CALL THE POWER COMPANY FOR THE LINES TO BE DE-ENERGIZED AND/OR MOVED AT YOUR EXPENSE.
- CONSTRUCTION SHALL COMPLY WITH THE LATEST REVISIONS OF OSHA REGULATIONS AND STATE OF TEXAS LAW CONCERNING TRENCHING AND SHORING. CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM TO MEET, AS A MINIMUM, THE REQUIREMENTS OF OSHA SAFETY AND HEALTH REGULATION, PART 1926, SUB-PART P, AS PUBLISHED IN THE FEDERAL REGISTER, VOLUME 34, NO. 299, DATED OCTOBER 31, 1969.
- DETAILS SHOWN DO NOT EXTEND OR INCLUDE DESIGNATIONS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONTRACTOR OR ITS EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS REQUIRED BY CHAPTER 756, SUBCHAPTER "C" OF THE TEXAS HEALTH AND SAFETY CODE.
- CONTRACTOR SHALL COVER OPEN EXCAVATIONS WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS, ALONG EXISTING ROADWAYS AND TRAFFIC AREAS.
- ADAPTIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE GOVERNING ENTITY. ALL CONSTRUCTION RUNOFF SHALL COMPLY WITH STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAGMEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. CONTRACTOR SHALL MAINTAIN AT LEAST ONE LANE OF TRAFFIC IN EACH DIRECTION OF TRAVEL ON ROADWAYS OR PROVIDE ALL-WEATHER DETOURS AROUND CONSTRUCTION SITE, PROVIDE PUBLIC NOTIFICATION, AND USE UNIFORMED POLICE OFFICERS TO CONTROL TRAFFIC.
- EXISTING PAVEMENTS, CURBS, SIDEWALKS AND DRIVEWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO THE GOVERNING ENTITY'S STANDARDS. ALL ASPHALT AND CONCRETE DRIVEWAYS EXCAVATED DURING CONSTRUCTION SHALL BE BACKFILLED WITH STABILIZED MATERIAL AND RETURNED TO EXISTING CONDITIONS. ALL STATE AND COUNTY HIGHWAY PAVEMENT AND RAILROAD RIGHTS-OF-WAYS TO BE BORED ACCORDING TO THE RULES, REGULATIONS AND REQUIREMENTS FOR APPROVAL AND ACCEPTANCE BY SAID AGENCIES.
- EXISTING ROADS AND/OR RIGHT-OF-WAYS DISTURBED DURING CONSTRUCTION SHALL BE AS GOOD OR BETTER THAN THE CONDITION PRIOR TO STARTING THE WORK, UPON COMPLETION OF THE PROJECT.
- IF DISTURBED AREAS HAVE BEEN COMPLETED TO THE LINES, GRADES, AND CROSS-SECTIONS SHOWN ON THE PLANS, SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS TO ESTABLISH ADEQUATE VEGETATION COVERAGE TO ELIMINATE EROSION. IF NO PROVISION FOR PLANTING GRASS IS INCLUDED IN THE PLANS OR SPECIFICATIONS, THE MINIMUM REQUIREMENT FOR THIS ITEM WILL BE IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR "SOODING OR SEEDING FOR EROSION CONTROL".
- ALL TRENCHES, INCLUDING TRENCHES FOR LEADS AND STUBS UNDER PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL CURBS SHALL BE BACKFILLED WITH CEMENT STABILIZED SAND AS PER SPECIFICATION TO A POINT IMMEDIATELY BELOW THE SUBGRADE. TRENCHES OTHER THAN UNDER PAVEMENT SHALL BE BACKFILLED WITH SIFTED SAND MATERIAL IN 6 INCH LAYERS AND MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM DESIGNATION D-998/ASTM D79). MOISTURE CONTENT OF BACKFILL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CEMENT STABILIZED SAND SPECIFICATIONS. SEE GOVERNING ENTITY'S STANDARD DETAIL SHEETS FOR BEDDING AND OTHER DESIGN REQUIREMENTS.
- CONTRACTOR TO REMOVE EXISTING PLUGS AND CONNECT TO EXISTING UTILITY LINES AS INDICATED ON PLANS.
- UNLESS OTHERWISE NOTED ON PLANS, WHERE MANHOLES ARE LOCATED WITHIN THE UTILITY EASEMENTS, THE CONTRACTOR SHALL SET RIM ELEVATIONS TWO INCHES ABOVE FINISHED GROUND ELEVATIONS.
- WHEN TRENCH CONDITION REQUIRES THE USE OF WELL POINTS, THIS IS TO BE REQUESTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE MID AND/OR DRIFT DEPOSITED ON EXISTING PAVEMENT DUE TO HIS CONSTRUCTION ACTIVITY DAILY. ALL EQUIPMENT AND DEBRIS FROM CONSTRUCTION TO BE MOVED AT END OF PROJECT.

CITY OF MONTGOMERY

GENERAL CONSTRUCTION NOTES:

- CONTRACTOR SHALL CONTACT CITY OF MONTGOMERY CITY ENGINEER CHRIS ROZDNOVSKY AT (281) 363-4039 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT CITY OF MONTGOMERY DIRECTOR OF PUBLIC WORKS MIKE MUCKLERODY AT (936) 587-5434 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO SET UP AN INSPECTION TO VERIFY CITY'S FACILITIES.
- CONTRACTOR SHALL CONTACT CITY OF MONTGOMERY UTILITY OPERATOR, MICHAEL WILLIAMS OF GULF UTILITY SERVICE AT (346) 300-5282 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO SET UP AN INSPECTION TO VERIFY CITY'S FACILITIES.
- THE CITY'S UTILITY OPERATOR AND PUBLIC WORKS FOREMAN SHALL BE NOTIFIED 24 HOURS IN ADVANCE TO WITNESS AND INSPECT ANY SANITARY SEWER LINE CONNECTION. NO SANITARY SEWER LINES SHALL BE BACKFILLED BEFORE THE CITY'S UTILITY OPERATOR OR PUBLIC WORKS FOREMAN HAS INSPECTED THE CONNECTION.
- CONTRACTOR SHALL CONTACT THE CITY'S UTILITY OPERATOR OR PUBLIC WORKS FOREMAN TO OPERATE ALL VALVES. AT NO TIME IS THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE TO OPERATE ANY PART OF THE CITY OF MONTGOMERY WATER SYSTEM.
- THE OWNER OR CONTRACTOR SHALL INSTALL AND TEST APPROPRIATE BACKFLOW PREVENTION, PER CITY OF MONTGOMERY RULES & REGULATIONS.

SANITARY SEWER CONSTRUCTION NOTES:

- SANITARY SEWERS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST SPECIFICATIONS FOR SEWER CONSTRUCTION, AND TESTED AS SPECIFIED FROM THE LATEST TEST PROCEDURE FOR EITHER LIQUID OR AIR, INCLUDING ALL AMENDMENTS AND REVISIONS THERETO. BACKFILL AND BEDDING FOR SANITARY SEWERS MUST MEET ALL MINIMUM ASPECTS OF ASTM D1080 AND MUST BE PLACED IN ACCORDANCE WITH THE APPLICABLE ENTITY'S SPECIFICATIONS.
- ALL SANITARY SEWER MANHOLES SHALL BE STANDARD THE APPLICABLE ENTITY PRE-CAST USING RIM-NECK OR CAST IN PLACE CONCRETE IN ACCORDANCE WITH ASTM C-478. NO BRICK MANHOLES ALLOWED. FOR PVC PIPE, USE MANHOLE WATER STOP GASKET AND CLAMP ASSEMBLY AT MANHOLE CONNECTIONS. SANITARY SEWER MANHOLE RIMS SHALL BE 3 INCHES ABOVE NATURAL GROUND. BACKFILL SHALL BE ADDED AND SLOPED AWAY FROM THE MANHOLE RIM FOR DRAINAGE PURPOSES.
- MANHOLE CONCRETE BOTTOM FOUNDATION SHALL BE 12" REINFORCED WITH #5 BARS AT 12", ON CENTERS, EACH WAY, WITH A MINIMUM OF #1 EXTRA SLAB LENGTH AROUND THE BOTTOM, IF POURED IN PLACE. APPROVED CHEMICALS SHALL BE USED FOR PATCHING AROUND MANHOLE JOINTS. MORTAR CEMENT WILL NOT BE ACCEPTED.
- SANITARY SEWER PIPE SHALL BE PVC SDR 26 OR PVC SDR 35 (WITH APPROVAL), IN ACCORDANCE WITH ASTM SPECIFICATIONS D-3034, FOR 4" THROUGH 15" AND ASTM F-799 FOR 18" THROUGH 27". MINIMUM SIZE SANITARY SEWER MAIN IS 6". SDR 35 MAY BE USED WHEN DEPTH IS MORE THAN 3 FEET AND LESS THAN 4 FEET.
- SEWER LINES SHALL BE LOCATED ON THE OPPOSITE SIDE OF THE STREET FROM WHERE WATER IS LOCATED. SEWER LINE AND WATER LINE SEPARATION SHALL BE IN ACCORDANCE WITH TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES, CHAPTER 317.13 APPENDIX E.
- NO SEWER PIPE SHALL BE LAID ON AN UNSTABLE FOUNDATION. SELECTED MATERIAL SHALL BE USED AND/OR WET SAND CONSTRUCTION DETAILS WHICH EVER APPLIES IN THE OPINION OF THE ENGINEER. NO PIPE SHALL BE COVERED WITHOUT APPROVAL OF THE ENGINEER OR HIS REPRESENTATIVE. SANITARY SEWERS CONSTRUCTED IN WET SAND SHALL HAVE A SPECIAL PROCEDURE AND SHALL BE CONSTRUCTED AS PER THE APPLICABLE ENTITY STANDARDS.
- WHEN THE NATURAL GROUND LEVEL AROUND MANHOLE LIES BELOW THE 100 YEAR FLOODPLAIN ELEVATION, THE MANHOLE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEALED AND VENTED MANHOLE DETAIL.
- A DEFLECTION TEST SHALL BE REQUIRED AFTER THE BACKFILL HAS BEEN IN PLACE A MINIMUM OF 30 DAYS. THIS TEST SHALL BE DONE BY PULLING A HAND LINE WITH AN ATTACHED MANHOLE FROM MAN-HOLE TO MANHOLE. THE MANHOLE SHALL HAVE AN OUTSIDE DIAMETER THAT IS AT LEAST SIZE OF THE ORIGINAL INSIDE DIAMETER OF THE PIPE. MANHOLE TO BE MANUFACTURED WITH A MINIMUM OF SEVEN (7) RUNNERS, WITH EACH RUNNER BEING A MINIMUM OF 5 INCHES LONG. ANY PIPE NOT MEETING EST REQUIREMENTS TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
- INFILTRATION/EXFILTRATION NOT TO EXCEED 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE FOR 24 HOURS UNDER A MINIMUM OF 2 FEET OF HEAD, OR AN AIR TEST SHALL BE REQUIRED IN ACCORDANCE WITH ASTM C-828.
- WHERE A SEWER LINE HAS LESS THAN (2) FEET OF COVER, PROVIDE CEMENT STABILIZED SAND BACKFILL MATERIAL.
- CONTRACTOR SHALL KEEP RECORD OF LOCATION OF ALL STACKS, STUBS, SEWER LEADS, ETC. THE AS-BUILT MYLAR DRAWINGS MUST SHOW THE EXACT LOCATION.
- IF SANITARY SERVICE LEADS ARE INSTALLED DURING CONSTRUCTION OF MAIN LINE, ALL LEADS TO HAVE A MINIMUM SLOPE OF 0.70% OR GREATER. ALL PVC LEADS TO BE THE SAME MATERIAL AS MAIN LINE. ALL DOUBLE SERVICE LEADS TO HAVE THE LOCATED ON THE END OF THE LEAD. ALL SINGLE SERVICE LEADS TO BE 4 INCH, AND ALL DOUBLE SERVICE LEADS TO BE 6 INCH.
- THE INSTALLATION OF ALL SANITARY SEWER LINES SHALL EXTEND ALONG THE ENTIRE LENGTH OF THE PROPERTY TO BE SERVED. SANITARY SEWER LINES THAT DEAD END SHALL EXTEND TO THE PROJECT LIMITS FOR FUTURE EXTENSIONS, WITH DEPTHS BASED ON ENTIRE SERVICE AREA.

STORM WATER QUALITY NOTES:

- IF THE PROJECT DISTURBS 10 ACRES, COVERAGE IS REQUIRED UNDER THE TRESPAS GENERAL PERMIT D01515000 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. THE COSTS TO IMPLEMENT, INSPECT, AND MAINTAIN THE SWPPP SHALL BE CONSIDERED INCIDENTAL TO THE SWPPP BID ITEMS.
- IF THE PROJECT DISTURBS GREATER THAN 5 ACRES, A NOTICE OF INTENT (NOI) SHALL BE SUBMITTED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AT LEAST 7 DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TCEQ COMPLIANCE, PLAN IMPLEMENTATION AND MAINTENANCE DURING CONSTRUCTION WHICH DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL PROVIDE A COPY OF THE CONTRACTOR'S NOTICE OF INTENT (NOI) AND PROOF THAT IT HAS BEEN SENT TO THE TCEQ.
- COPIES OF THE CONTRACTOR'S NOI AND CONSTRUCTION SITE NOTICE (CSN) SHALL BE POSTED AT THE SITE BY THE CONTRACTOR. COPIES SHALL ALSO BE SUBMITTED TO THE PROJECT OWNER AND ENGINEER. THE CONTRACTOR SHALL MAINTAIN AND POST THE TWO NOIS, TWO CSNS AND ANY SECONDARY OPERATOR CSNS ON THE PROJECT SITE AT A LOCATION WITH EASY ACCESS TO THE PUBLIC FOR CLEAR VIEWING AND AS APPROVED BY THE ENGINEER. THE COST OF LAMINATION AND POSTING OF THE NOIS & CSNS SHALL BE CONSIDERED INCIDENTAL TO THE SWPPP BID ITEMS.
- UPON COMPLETION OF CONSTRUCTION ACTIVITIES AND FINAL STABILIZATION OF THE SITE, AS DEFINED BY THE TRESPAS GENERAL PERMIT, A NOTICE OF TERMINATION (NOT) IS REQUIRED TO BE SUBMITTED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL PROVIDE A COPY OF THE CONTRACTOR'S NOTICE OF TERMINATION (NOT) AND PROOF THAT IT HAS BEEN SENT TO THE TCEQ.
- A RAIN GAUGE SHALL BE KEPT ON THE PROJECT SITE WITHIN THE IMMEDIATE PROJECT VICINITY. RECORDS OF RAINFALL EVENTS SHALL BE KEPT BY THE CONTRACTOR TO ASSIST WITH DETERMINING IF AN SWPPP SITE INSPECTION IS REQUIRED. THE COSTS FOR THE RAIN GAUGE SHALL BE CONSIDERED INCIDENTAL TO THE SWPPP BID ITEMS.
- SWPPP, INSPECTION & MAINTENANCE REPORTS, CERTIFICATIONS, RAINFALL RECORDS, MAJOR GRADING DATE RECORDS AND TEMPORARY AND PERMANENT STABILIZATION DATE RECORDS SHALL BE KEPT CURRENT BY THE CONTRACTOR AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. COPIES OF THE ALL SWPPP RECORDS SHALL BE KEPT ON-SITE. IF FEASIBLE, UNTIL THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. THE SWPPP RECORDS SHALL BE MADE READILY AVAILABLE TO ENGINEER AND REGULATORY AUTHORITIES UPON AN ON-SITE INSPECTION. THE CONTRACTOR SHALL DELIVER COPIES OF ALL SWPPP RECORDS TO PROJECT OWNER AND ENGINEER AS DIRECTED BY THE ENGINEER.

PAVING NOTES:

- IF PROPOSED SEMI-RIGID BASE WITH 2 INCH TYPE "D" HOT MIX ASPHALTIC CONCRETE SURFACING, FOR URBAN ESTATES ONLY, SEMI-RIGID BASE MAY BE 7 INCH CEMENT STABILIZED SAND, 8 INCH CRUSHED LIMESTONE, OR 8 INCH HOT MIX ASPHALTIC CONCRETE.
- EXPOSE 18 INCHES OF REINFORCING STEEL AT ALL PROPOSED SAWED JOINTS. IF NO REINFORCING STEEL EXISTS, USE HORIZONTAL DOWELS PER NOTE #4.
- REQUIRED A ONE (1) INCH REDWOOD EXPANSION BOARD OR PRE-MOLDED NON-EXTENDING JOINT BETWEEN SIDEWALK AND BACK OF CURB.
- HORIZONTAL DOWELS SHALL BE NO. 8 BARS, 24 INCHES LONG, DRILLED AND EMBEDDED 8 INCHES INTO THE CENTER OF THE EXISTING SLAB WITH "PO ROOF" OR EQUAL. DOWELS SHALL BE 24 INCHES LONG TO CENTER UNLESS OTHERWISE SPECIFIED.
- WHEN PROPOSED PAVEMENT EXIST AT A CONSTRUCTION JOINT, LEAVE 12 INCHES OF REINFORCING STEEL EXPOSED BEYOND DOWEL, COAT WITH ASPHALT, AND WIPED WITH BULFAP FOR FUTURE PAVEMENT TIE-IN. AT EXPANSION JOINTS, EXPOSE DOWELS 3 INCHES, COAT AND WIPED SAME AS CONSTRUCTION JOINTS.
- WHEREVER A SIDEWALK IS REQUIRED BY GOVERNING ENTITY'S ORDINANCE, PROVIDE WHEELCHAIR RAMP AND/OR SIDEWALKS IN ACCORDANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION STANDARD WHEELCHAIR RAMP AND SIDEWALK DETAILS.
- ADJUST EXISTING MANHOLE FRAMES AND COVERS TO FIT NEW GRADE.
- ADJUST EXISTING WATER VALVE BOXES TO NEW PAVING GRADE. REPLACE ALL MISSING OR DAMAGED VALVE BOXES AND COVERS.
- PLACE WHITE OR YELLOW PLASTIC MARKER OR PAINT AS SHOWN BY THE UNIFORM TRAFFIC MANUAL FOR PAVEMENT MARKINGS.
- PROVIDE A CONCRETE PAVING HEADER AT THE END OF THE PAVEMENT.
- T. C. INDICATES TOP OF CURB ELEVATION AND T. P. INDICATES TOP OF PAVEMENT ELEVATION.
- CURB RISE AT STREET INTERSECTIONS TO BE 24.50 FEET TO BACK OF CURB WITH A MINIMUM OF ONE (1) PERCENT GRADE UNLESS OTHERWISE NOTED.
- GRADELINES SET FORTH IN THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES WILL BE OBSERVED.
- TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT ALL RADIUS RETURNS AND AT A MAXIMUM SPACING OF 60 FOOT INTERVALS.
- CONTRACTOR WILL USE CONTINUOUS LONGITUDINAL REINFORCING BARS IN CURBS AS SHOWN ON DETAILS PROVIDED IN CONSTRUCTION DRAWINGS.
- CYLINDER COMPRESSION TEST OR BEAM FLEXURAL TEST SHALL BE REQUIRED. TWO SAMPLES SHALL BE TAKEN FOR EACH 100 CUBIC YARDS OF CONCRETE POURED. FOR SMALLER QUANTITIES, TWO SAMPLES SHALL BE TAKEN REGARDLESS OF THE AMOUNT OF CONCRETE POURED EACH DAY. CONCRETE SHALL HAVE 5 SACKS CEMENT PER CUBIC YARD AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS OR A MINIMUM FLOURAL CURBING OF 800 PSI IN 28 DAYS. NO TRAFFIC SHALL BE ALLOWED ON CONCRETE FOR 28 DAYS. IF EXTRA TESTS ARE MADE 70% OF THE 28 DAY STRENGTH IS ACHIEVED THE GOVERNING ENTITY'S ENGINEER MAY ALLOW TRAFFIC ON THE PAVEMENT IF IT DEEMS NECESSARY.
- PRIOR TO PLAN APPROVAL, A CERTIFIED LAB SHALL DETERMINE THE PERCENTAGE OF CEMENT CONTENT FOR SUBGRADE STABILIZATION IN SANDY SOILS WITH P.L. LESS THAN 10% TO OBTAIN A COMPRESSIVE STRENGTH OF 800 PSI IN 28 DAYS. THE LAB SHALL ALSO DETERMINE THE PROPORTION OF LIME CONTENT FOR SUBGRADE STABILIZATION IN CLAY SOILS WITH A P.L. GREATER THAN 20. ALL STREETS SHALL BE TESTED EVERY 200 FEET AND SUBGRADE SHALL BE STABILIZED UNLESS THE LAB CERTIFIES THE P.L. TO BE BETWEEN 10 AND 20 AND THAT STABILIZATION IS NOT NEEDED.
- A CONCRETE MIX DESIGN BY THE CERTIFIED LAB SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING ENTITY'S ENGINEER BEFORE ANY CONCRETE IS POURED.
- A MINIMUM OF TWO (2) COMPACTION TESTS SHALL BE PERFORMED A MAXIMUM DISTANCE OF 500 FEET, AND FOR EACH 2'-4" MAXIMUM THICK LAYERS OF FILL IN AREAS WHERE NO FILL IS REQUIRED, TWO (2) SAMPLES SHALL BE TAKEN AT A MAXIMUM DISTANCE OF 500 FEET. ADDITIONAL TESTING SHALL BE PERFORMED IF DEEMED NECESSARY BY THE ENGINEER. NO ADDITIONAL COVERS OF FILL SHALL BE MADE WITHOUT HAVING THE LATEST WRITTEN APPROVAL OF COMPLETED LAYERS. PROFILING SHALL BE REQUIRED BY THE INSPECTOR ON EACH LAYER PLACED AND ANY "PUMPING" AREAS SHALL BE REMOVED IMMEDIATELY AND REPLACED OR STABILIZED AND RE-COMPACTED TO A PASSING DENSITY.
- CONSTRUCTION OF ITEMS THAT ARE NOT SPECIFICALLY ADDRESSED TO BE IN ACCORDANCE WITH THE TEXAS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS (LATEST REVISION).
- RIGHT-OF-WAY SHALL BE SLOPED FROM THE PROPERTY TO THE TOP OF CURB AND HYDROMULCHED OR SOODED BEFORE FINAL ACCEPTANCE BY THE GOVERNING ENTITY TO CONTROL EROSION INTO THE STREET AND STORM SEWER.
- MEMBRANE CURING TYPE 2, WHITE PIGMENTED, SHALL BE USED FOR CURING ALL CONCRETE SURFACES IMMEDIATELY AFTER FINISHING OF SURFACES AND SHALL BE IN ACCORDANCE WITH THE TEXAS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS ITEM #826.
- ALL FIRST STAGE INLET CONSTRUCTION SHALL BE PROTECTED WITH 3 INCH THICK BOARDS AT ALL TIMES.
- ALL SUBGRADE AND EMBANKMENT AREAS SHALL BE STOPPED OF ALL ORGANIC AND UNSATURABLE MATERIAL BEFORE STABILIZATION OR FILLING IS BEGUN. MATERIAL USED FOR FILL SHALL BE CERTIFIED BY A LAB TO HAVE A PLASTICITY INDEX BETWEEN 10 AND 20.
- FORMS SHALL BE SET TO THE PROPER GRADE AND PROPERLY SUPPORTED SO THAT NO DISPLACEMENT OCCURS WITH THE PAVING ACTIVITIES. ALL CONCRETE SHALL BE VIBRATED BY MECHANICAL MEANS TO INSURE PROPER COMPACTION AND NO HONEY COMBS.
- CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40° F. AND FALLING, BUT MAY BE PLACED WHEN TEMPERATURE IS ABOVE 35° F. AND RISING. THE TEMPORARY BARS SHALL BE CLEAN AND AWAY FROM AERIAL ROOTS.
- THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRIAGES TO ADEQUATELY PROTECT THE PAVEMENT. THE CONTRACTOR SHALL HAVE PERSONNEL ON SITE UNTIL THE PAVEMENT HAS REACHED SUFFICIENT STRENGTH AS NOT TO BE DAMAGED BY ANIMALS OR FOOT TRAFFIC.
- JOINT SEALING MATERIAL SHALL BE A HOT Poured RUBBER TYPE AND SHALL MEET THE REQUIREMENTS IN ACCORDANCE WITH TEST METHOD TEx-525-C, OR AN APPROVED EQUAL. TAR WILL NOT BE ALLOWED.
- JOINTS SHALL BE CLEANED OF ALL SCALE, DIRT, DUST, CURING COMPOUND, AND CONCRETE TO THE WIDTH AND DEPTH OF THE JOINT AND SHALL BE DRY BEFORE SEALING IS PERFORMED.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A15 GRADE 40 (GRADE 40 ONLY FOR BARS REQUIRING BENDING). REINFORCING STEEL SHALL BE SUPPORTED ON CHAIRS STRONG ENOUGH TO HOLD IT IN PLACE AND BE TIED.
- CONCRETE FOR PAVEMENT SHALL MEET TEXAS DEPARTMENT OF HIGHWAY STANDARD SPECIFICATIONS AND SHALL BE A MINIMUM OF 5 SACK, 3,000 PSI UNLESS STATED OTHERWISE BY THE PLANS OR THE SPECIFICATIONS.
- CONCRETE PAVEMENT SHALL BE CURED TO VERIFY THICKNESS OF CONCRETE AT INTERVALS OF 1,000 LINEAR FEET PER TRAFFIC LANE, IF REQUIRED BY THE GOVERNING ENTITY ENGINEER.

STORM SEWER NOTES:

- STORM SEWER AND LEADS SHALL BE REINFORCED CONCRETE PIPE, ASTM C-76, CLASS III, WITH G-RING RUBBER GASKET JOINTS, AND SHALL BE INSTALLED, BEDDED AND BACKFILLED IN ACCORDANCE WITH THE GOVERNING ENTITY'S STANDARDS AND SPECIFICATIONS.
- NOTE: HOPE PIPE MAY BE USED PROVIDED THAT IT IS BACKFILLED WITH CEMENT STABILIZED SAND (2 SACKS CEMENT/TON), OR OTHER BACKFILL MATERIALS THAT HAVE BEEN APPROVED BY THE GOVERNING ENTITY. SEE NOTES BELOW.
- STORM SEWER PIPE STUB OUTS FROM MANHOLES OR INLETS ARE TO BE PLUGGED WITH 8 INCH BRICK WALLS UNLESS OTHERWISE NOTED.
- ALL BOX COVERTERS INSTALLED SHALL BE PLACED ON A MINIMUM OF 6 INCHES OF CEMENT STABILIZED SAND (CEMENT STABILIZED SAND SHALL BE 1/3 SACK CEMENT PER TON), FOR INSTALLATION OF PRE-CAST CONCRETE BOX COVERTERS IN POOR SOIL CONDITIONS, A 4 INCH THICK CLASS "C" CONCRETE SEAL SLAB SHALL BE INSTALLED, PRIOR TO CONSTRUCTION OF BOX COVERTERS.
- STORM SEWER MANHOLES SHALL BE STANDARD PRE-CAST, UNLESS OTHERWISE NOTED.
- ALL INLETS TO BE TO THE DETAIL SPECIFICATIONS SHOWN IN THE PLANS OR APPROVED EQUAL OR UNLESS OTHERWISE STATED ON PLANS. INLETS TO BE STANDARD DEPTH UNLESS OTHERWISE NOTED.
- ALL STORM SEWER LEADS SHALL BE 18 INCH MINIMUM UNLESS OTHERWISE INDICATED. GRADE DROP ON LEADS BETWEEN INLETS TO BE A MINIMUM OF 0.20 FOOT. GRADE DROP BETWEEN INLET AND MANHOLES TO BE 0.20 FOOT UNLESS OTHERWISE SHOWN. WHEN MANHOLE FRAME AND COVER IS REQUIRED, USE EAST JOURNAN 24" FRAME AND COVER (OR EQUAL).
- FOR ADJUSTMENT OF MANHOLE LIDS USE STANDARD CONCRETE RINGS.
- CONCRETE USED FOR ALL POURED-IN-PLACE MANHOLES, INLETS, MANHOLE HEADS, HEADWALLS AND OTHER APPURTENANCES TO BE CLASS "A" CONCRETE WITH 3,000 P.S.I. STRENGTH AT 28 DAYS.
- ALL EXPOSED CORNERS TO BE CHAMFERED 3/4".
- OTHER BACKFILL MATERIALS MAY BE USED BASED ON THE GEOTECHNICAL REPORT OR PER HOPE SPECIFICATIONS. BACKFILL MUST BE USED WITH APPROPRIATE COMPACTION.
- SEE MANUFACTURERS SPECIFICATIONS FOR THE USE OF HIGH DENSITY POLYETHYLENE PIPE FOR STORM DRAINS FOR SPECIFIC TECHNICAL INFORMATION.

WATER CONSTRUCTION NOTES:

- CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN THE APPLICABLE ENTITY STANDARD DRAWINGS AND REQUIREMENTS FOR WATER MAIN CONSTRUCTION AND MATERIALS.
- PRIOR TO INSTALLATION OF WATER METER, WATER METER LEAD OR UNMETERED FIRE SPRINKLER LINE, THE CONTRACTOR SHALL CONTACT THE PERMIT DIVISION.
- PRIOR TO WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE GOVERNING ENTITY'S ENGINEER AND COMPLY WITH ALL REQUIREMENTS NECESSARY FOR THE ISSUANCE OF A WORK ORDER FOR THE WATER MAIN CONSTRUCTION.
- SEPARATION DISTANCES FOR ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GVERNED BY THE TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWERAGE SYSTEMS, SECTION 317.20, LATEST PRINTING, REFER TO THE APPLICABLE ENTITY DESIGN MANUAL, WATER MAIN DESIGN REQUIREMENTS
- TWELVE-INCH (12") AND SMALLER MAINS SHALL HAVE A MINIMUM COVER OF FOUR FEET (4') FROM THE TOP OF THE CURB OR FIVE FEET (5') FROM THE MEAN ELEVATION OF THE BOTTOM OF THE NEARBY OUTFIT AND HEAVY RIGHT-OF-WAY ELEVATION FOR OPEN DITCH SECTIONS.
- MAINS LARGER THAN TWELVE-INCHES (12") SHALL HAVE A MINIMUM COVER OF FIVE FEET (5') FROM THE TOP OF THE CURB OR SIX FEET (6') FROM THE MEAN ELEVATION FOR OPEN DITCH SECTIONS.
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED BEFORE BACTERIOLOGICAL TESTING IN ACCORDANCE WITH AWWA STANDARD C-600.
- ALL WATER PIPING SHALL BE DISINFECTED AND BACTERIOLOGICALLY TESTED PRIOR TO USE IN ACCORDANCE WITH AWWA STANDARD C-601.
- ALL WATER MAINS 4" THROUGH 12" SHALL BE C-900 (SDR-18). ALL WATER MAINS 14" THROUGH 36" SHALL BE C-805 (SDR-18).
- PRIOR TO BACKFILLING OF ALL UNDERGROUND WATER LINES, INSTALL A CONTINUOUS #14 CUPPER TRACER WIRE, LOCATED DIRECTLY OVER BURIED LINES AND ACCESSIBLE AT EACH VALVE STACK.
- THE INSTALLATION OF ALL UNDERGROUND WATER LINES SHALL EXTEND ALONG THE ENTIRE LENGTH OF THE PROPERTY TO BE SERVED. WATER LINES THAT DEAD END SHALL EXTEND TO THE PROJECT LIMITS FOR FUTURE EXTENSIONS.

TCEQ NOTES:

- THESE WATER STORAGE FACILITIES MUST BE CONSTRUCTED IN ACCORDANCE WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) RULES AND REGULATIONS FOR PUBLIC WATER SYSTEMS 30 TEXAS ADMINISTRATIVE CODE (TAC) CHAPTER 290 SUBCHAPTER D.
- ALL FACILITIES FOR POTABLE WATER STORAGE SHALL BE COVERED AND DESIGNED, FABRICATED, ERECTED, TESTED AND DISINFECTED IN STRICT ACCORDANCE WITH CURRENT AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS AND SHALL BE PROVIDED WITH THE MINIMUM NUMBER, SIZE AND TYPE OF ROOF VENTS, MAIN WAYS, DRAINS, SAMPLE CONNECTIONS, ACCESS LADDERS, OVERFLOWS, LIQUID LEVEL INDICATORS AND OTHER APPURTENANCES AS SPECIFIED IN THESE RULES.

BOLTED TANKS SHALL BE DESIGNED, FABRICATED, ERECTED AND TESTED IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARD D103. WELDED TANKS SHALL BE DESIGNED, FABRICATED, ERECTED AND TESTED IN STRICT ACCORDANCE

WITH CURRENT AWWA STANDARD D100. THE ROOF OF ALL TANKS SHALL BE DESIGNED AND ERECTED SO THAT NO WATER PONDS AT ANY POINT ON THE ROOF AND, IN ADDITION, NO AREA OF THE ROOF SHALL HAVE A SLOPE OF LESS THAN 0.75 INCH PER FOOT.

ROOF VENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARDS AND SHALL BE EQUIPPED WITH APPROVED SCREENS TO PREVENT ENTRY OF ANIMALS, BIRDS, INSECTS AND HEAVY AIR CONTAMINANTS. SCREENS SHALL BE FABRICATED OF CORROSION RESISTANT MATERIAL AND SHALL BE 16 MESH OR FINER. SCREENS SHALL BE SECURELY CLAMPED IN PLACE WITH STAINLESS OR GALVANIZED BANDS OR WIRES AND SHALL BE DESIGNED TO WITHSTAND WINDS OF NOT LESS THAN TANK DESIGN CRITERIA (UNLESS SPECIFIED OTHERWISE BY THE ENGINEER).

ALL ROOF OPENINGS SHALL BE DESIGNED IN ACCORDANCE WITH CURRENT AWWA STANDARDS. IF AN ALTERNATE 30 INCH DIAMETER ACCESS OPENING IS NOT PROVIDED IN A STORAGE TANK, THE PRIMARY ROOF ACCESS OPENING SHALL NOT BE LESS THAN 30 INCHES IN DIAMETER. OTHER ROOF OPENINGS REQUIRED ONLY FOR VENTILATING PURPOSES DURING CLEANING, REPAIRING OR PAINTING OPERATIONS SHALL BE NOT LESS THAN 24 INCHES IN DIAMETER OR AS SPECIFIED BY THE LICENSED PROFESSIONAL ENGINEER. AN EXISTING TANK WITHOUT A 30-INCH IN DIAMETER ACCESS OPENING MUST BE MODIFIED TO MEET THIS REQUIREMENT WHEN MAJOR REPAIR OR MAINTENANCE IS PERFORMED ON THE TANK. EACH ACCESS OPENING SHALL HAVE A RAISED CURBING AT LEAST FOUR INCHES IN HEIGHT WITH A LOCKABLE COVER THAT OVERLAPS THE CURBING AT LEAST TWO INCHES IN A DOWNWARD DIRECTION. WHEN NECESSARY, A GASKET SHALL BE USED TO MAKE A POSITIVE SEAL WHEN THE HATCH IS CLOSED. ALL HATCHES SHALL REMAIN LOCKED EXCEPT DURING INSPECTIONS AND MAINTENANCE.

OVERFLOWS SHALL BE DESIGNED IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARDS AND SHALL TERMINATE WITH A GRAVITY HINGED AND WEIGHTED COVER. THE COVER SHALL FIT TIGHTLY WITH NO GAP OVER 1/16 INCHES. IF THE OVERFLOW TERMINATES AT ANY POINT OTHER THAN THE GROUND LEVEL, IT SHALL BE LOCATED NEAR ENOUGH AND AT A POSITION ACCESSIBLE FROM A LADDER OR THE BALCONY FOR INSPECTION PURPOSES. THE OVERFLOW(S) SHALL BE SIZED TO HANDLE THE MAXIMUM POSSIBLE FILL RATE WITHOUT EXCEEDING THE CAPACITY OF THE OVERFLOW(S). THE DISCHARGE OPENING OF THE OVERFLOW(S) SHALL BE ABOVE THE SURFACE OF THE GROUND AND SHALL NOT BE SUBJECT TO SUBMERGENCE.

ALL CLEARWELLS AND WATER STORAGE TANKS SHALL HAVE A LIQUID LEVEL INDICATOR LOCATED AT THE TANK SITE. THE INDICATOR CAN BE A FLOAT WITH A MOVING TARGET, AN ULTRASONIC LEVEL INDICATOR, OR A PRESSURE GAUGE CALIBRATED IN FEET OF WATER. IF AN ELEVATED TANK OR STANDPIPE HAS A FLOAT WITH MOVING TARGET INDICATOR, IT MUST ALSO HAVE A PRESSURE INDICATOR LOCATED AT GROUND LEVEL. PRESSURE GAUGES MUST NOT BE LESS THAN THREE INCHES IN DIAMETER AND CALIBRATED AT NOT MORE THAN TWO-FOOT INTERVALS. REMOTE READING GAUGES AT THE OWNER'S TREATMENT PLANT OR PUMPING STATION WILL NOT ELIMINATE THE REQUIREMENT FOR A GAUGE AT THE TANK SITE UNLESS THE TANK IS LOCATED AT THE PLANT OR STATION.

INLET AND OUTLET CONNECTIONS SHALL BE LOCATED SO AS TO PREVENT SHORT CIRCUITING OR STAGNATION OF WATER. CLEARWELLS USED FOR DISINFECTANT CONTACT TIME SHALL BE APPROPRIATELY BAFFLED.

CLEARWELLS AND POTABLE WATER STORAGE TANKS SHALL BE THOROUGHLY TIGHT AGAINST LEAKAGE. SHALL BE LOCATED ABOVE THE GROUND WATER TABLE AND SHALL HAVE NO WALLS IN COMMON WITH ANY OTHER PLANT UNITS CONTAINING WATER IN THE PROCESS OF TREATMENT, ALL ASSOCIATED APPURTENANCES INCLUDING VALVES, PIPES AND FITTINGS SHALL BE TIGHT AGAINST LEAKAGE.

EACH CLEARWELL OR POTABLE WATER STORAGE TANK SHALL BE PROVIDED WITH A MEANS OF REMOVING ACCUMULATED SILT AND DEPOSITS AT ALL LOW POINTS IN THE BOTTOM OF THE TANK. DRAINS SHALL NOT BE CONNECTED TO ANY WASTE OR SEWAGE DISPOSAL SYSTEM AND SHALL BE CONSTRUCTED SO THAT THEY ARE NOT A POTENTIAL AGENT IN THE CONTAMINATION OF THE STORED WATER.

ALL CLEAR WELLS, GROUND STORAGE TANKS, STANDPIPES, AND ELEVATED TANKS SHALL BE PAINTED, DISINFECTED, AND MAINTAINED IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARDS. HOWEVER, NO TEMPORARY COATINGS, WAX GREASE COATINGS, OR COATING MATERIALS CONTAINING LEAD WILL BE ALLOWED. NO OTHER COATINGS WILL BE ALLOWED WHICH ARE NOT APPROVED FOR USE (AS A CONTACT SURFACE WITH POTABLE WATER) BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA), NATIONAL SANITATION FOUNDATION (NSF), OR THE UNITED STATES FOOD AND DRUG ADMINISTRATION (FDA). ALL NEWLY INSTALLED COATINGS MUST CONFORM TO ANS/NSF STANDARD 61 AND MUST BE CERTIFIED BY AN ORGANIZATION ACCREDITED BY ANSI.

NONE OF TANKS OR CONTAINERS SHALL BE USED TO STORE POTABLE WATER THAT HAS PREVIOUSLY BEEN USED FOR ANY NON POTABLE PURPOSE. WHERE A USED TANK IS PROPOSED FOR USE, A LETTER FROM THE PREVIOUS OWNER OR OWNERS MUST BE SUBMITTED TO THE COMMISSION WHICH STATES THE USE OF THE TANK.

ACCESS MANWAYS IN THE RISER PIPE, SHELL AREA, ACCESS TUBE, BOWL AREA OR ANY OTHER LOCATION OPENING DIRECTLY INTO THE WATER COMPARTMENT SHALL BE LOCATED IN STRICT ACCORDANCE WITH CURRENT AWWA STANDARDS. THESE OPENINGS SHALL NOT BE LESS THAN 24 INCHES IN DIAMETER. HOWEVER, IN THE CASE OF A RISER PIPE OR ACCESS TUBE OF 36 INCHES IN DIAMETER OR SMALLER, THE ACCESS MANWAY MAY BE 18 INCHES TIMES 24 INCHES WITH THE VERTICAL DIMENSION NOT LESS THAN 24 INCHES. THE PRIMARY ACCESS MANWAY IN THE LOWER RING OR SECTION OF A GROUND STORAGE TANK SHALL BE NOT LESS THAN 30 INCHES IN DIAMETER. WHERE NECESSARY, FOR ANY ACCESS MANWAY WHICH ALLOWS DIRECT ACCESS TO THE WATER COMPARTMENT, A GASKET SHALL BE USED TO MAKE A POSITIVE SEAL WHEN THE ACCESS MANWAY IS CLOSED.

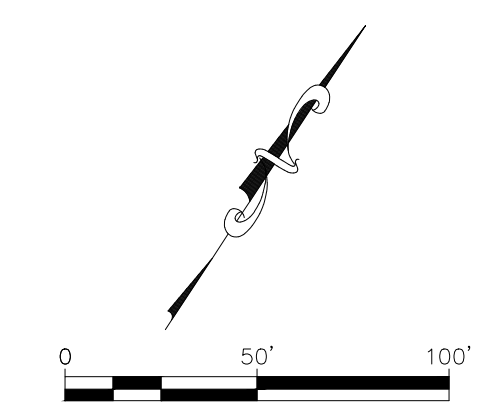
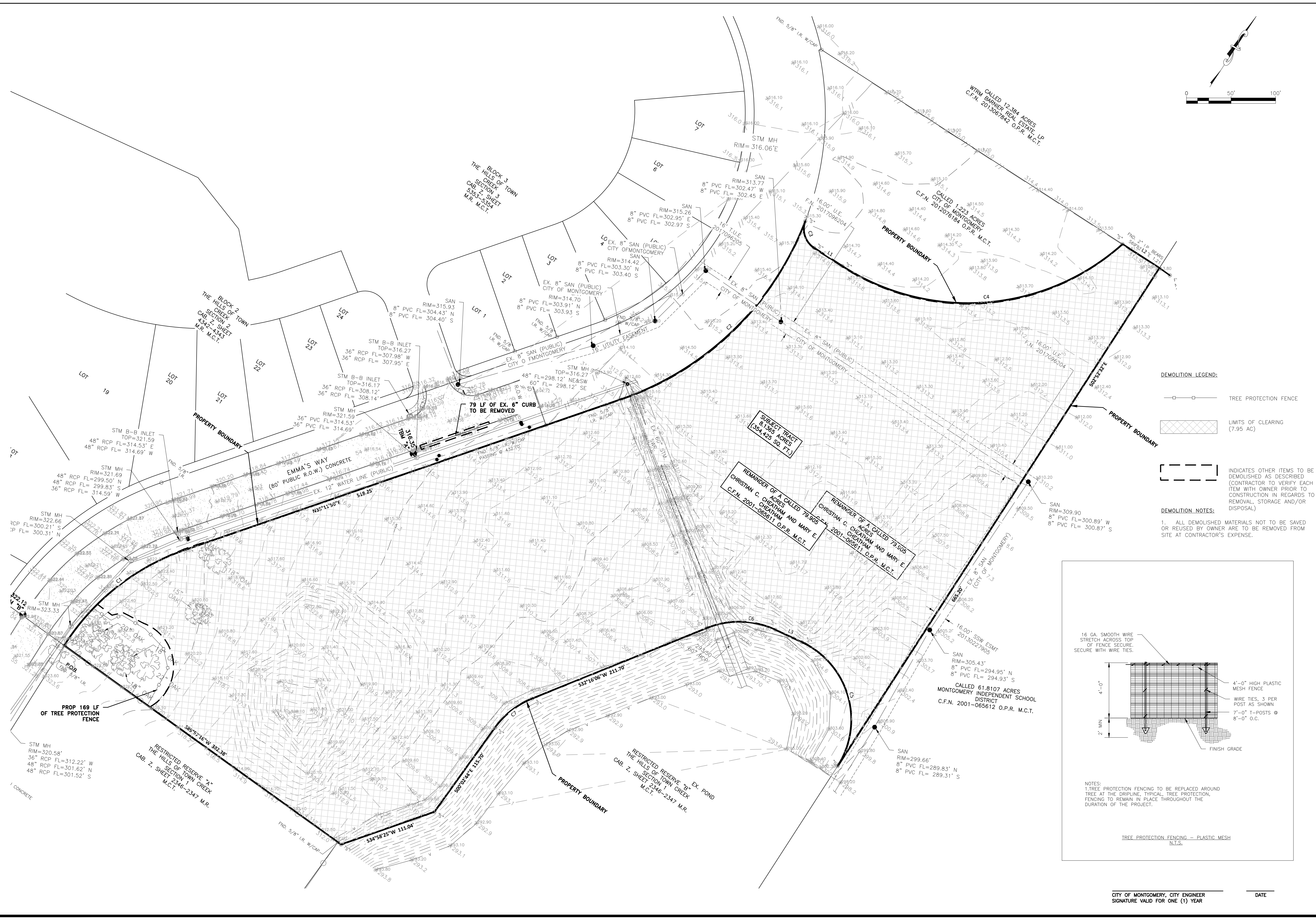
SERVICE PUMP INSTALLATION TAKING SUCTION FROM STORAGE TANKS SHALL PROVIDE AUTOMATIC LOW WATER LEVEL CUTOFF DEVICES TO PREVENT DAMAGE TO THE PUMPS. THE SERVICE PUMP CIRCUITRY SHALL ALSO RESUME PUMPING AUTOMATICALLY ONCE THE MINIMUM WATER LEVEL IS REACHED IN THE TANK.

LEGEND:

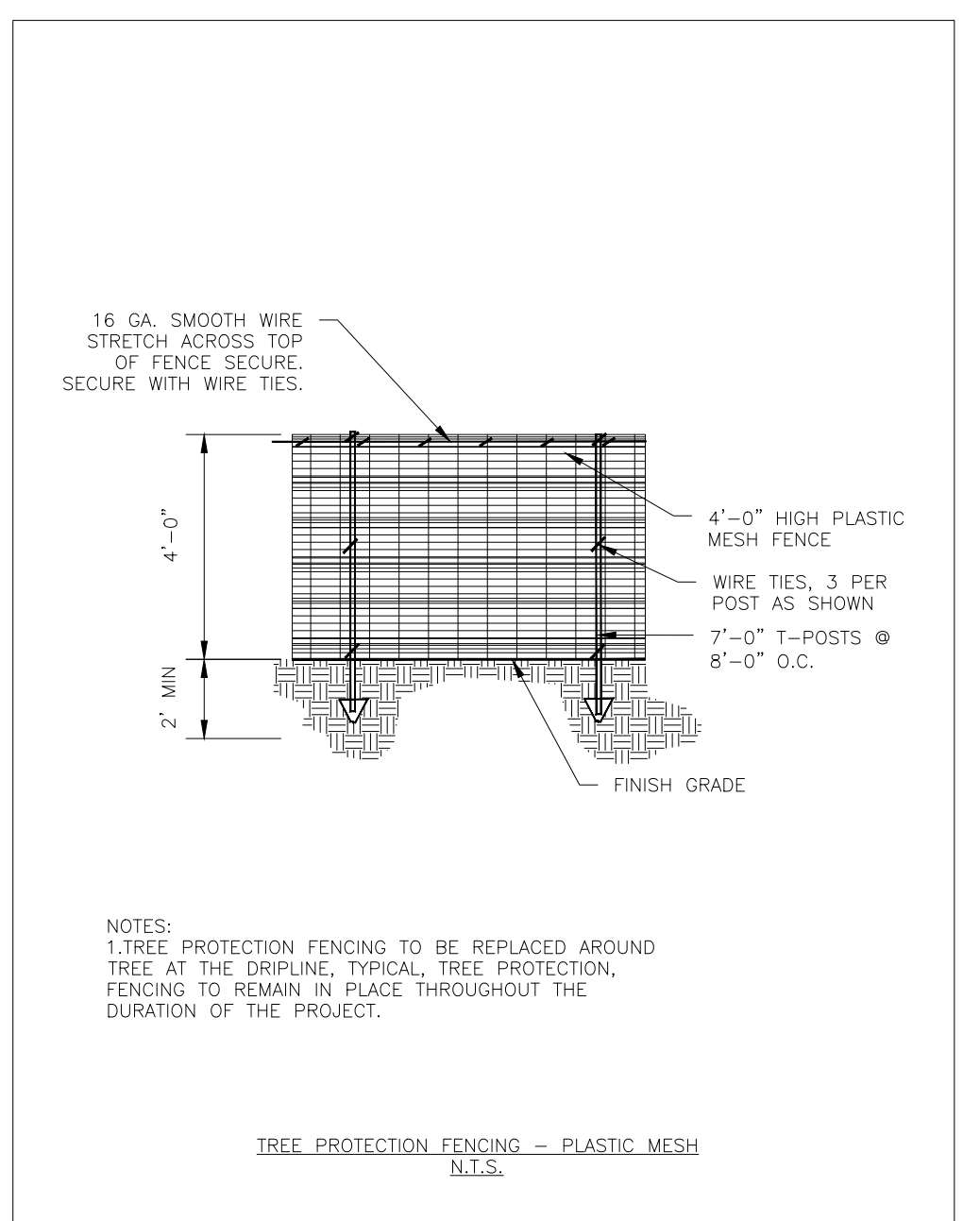
- EX ADJOINER LINE, ADJ
- EX SANITARY, SAN
- EX WATERLINE, WL
- EX STORM SEWER, STM
- EX DRAINAGE PATH, FL
- EX HIGH BANK, HB
- EX EASEMENT, ESM
- EX BUILDING LINE, BL
- EX OVERHEAD POWER, P
- EX UNDERGROUND POWER, UG
- EX FIBER, FO
- EX TELEPHONE, T
- EX GAS LINE, G
- EX FENCE, FNC
- PROP SANITARY, SAN
- PROP WATERLINE, WL
- PROP STORM SEWER, STM
- PROP DRAINAGE PATH, FL
- PROP HIGH BANK, HB
- PROP EASEMENT, ESM
- PROP BUILDING LINE, BL
- PROP OVERHEAD POWER, P
- PROP UNDERGROUND POWER, UG
- PROP FIBER, FO
- PROP TELEPHONE, T
- PROP GAS LINE, G
- PROP FENCE, FNC
- PROP PAVEMENT, PVMT
- PROP BACK OF CURB, BC

BENCHMARK:
MONT 3
ELEV.=268.73'
3" BRASS DISK LOCATED FROM THE INTERSECTION OF HWY 105 AND HWY 149, WEST ±470' TO THE PARKING LOT OF THE HERITAGE HOUSE RESTAURANT, WHICH IS LOCATED ON THE NORTH SIDE OF HWY 105.
MONT
ELEV.=291.77'
3" BRASS DISK IS LOCATED IN THE CENTER OF MONTGOMERY ON THE SOUTH SIDE OF HWY 105. MARK IS IN FRONT (NORTH) OF GAS PUMPING AREA OF BROOMSHIRE BROTHERS GROCERY STORE, AS WELL AS ACROSS HWY 105(SOUTH) FROM THE OLDE SCHOOL HOUSE.
TEMPORARY BENCHMARK "A"
CUT SQUARE IN CONCRETE ELEV.=316.35'
CUT SQUARE IN CONCRETE ON B-B INLET LOCATED SOUTHEAST FROM SCENIC HILLS COURT AND EMMA'S WAY INTERSECTION.

FLOODPLAIN NOTE:
This site (proposed area) is situated in Zone "X" in Montgomery County, Texas according to FEMA map number 48339C0200C dated August 18, 2014. This statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This determination has been made by scaling the property on the referenced map and is not the result of an elevation survey. This flood statement shall not create liability on the part of the surveyor.



- DEMOLITION LEGEND:**
- TREE PROTECTION FENCE
 - LIMITS OF CLEARING (7.95 AC)
 - INDICATES OTHER ITEMS TO BE DEMOLISHED AS DESCRIBED (CONTRACTOR TO VERIFY EACH ITEM WITH OWNER PRIOR TO CONSTRUCTION IN REGARDS TO REMOVAL, STORAGE AND/OR DISPOSAL)
- DEMOLITION NOTES:**
1. ALL DEMOLISHED MATERIALS NOT TO BE SAVED OR REUSED BY OWNER ARE TO BE REMOVED FROM SITE AT CONTRACTOR'S EXPENSE.



CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE

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PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 4 EXISTING SURVEY, DEMOLITION PLAN & TREE PRESERVATION PLAN

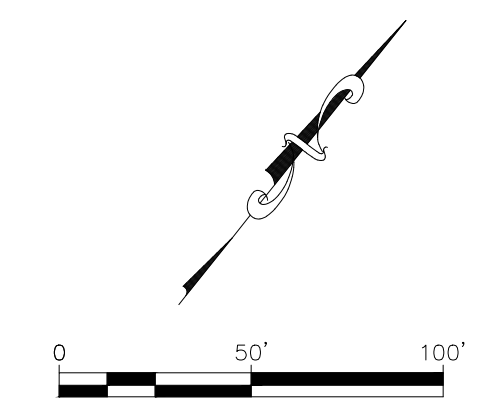
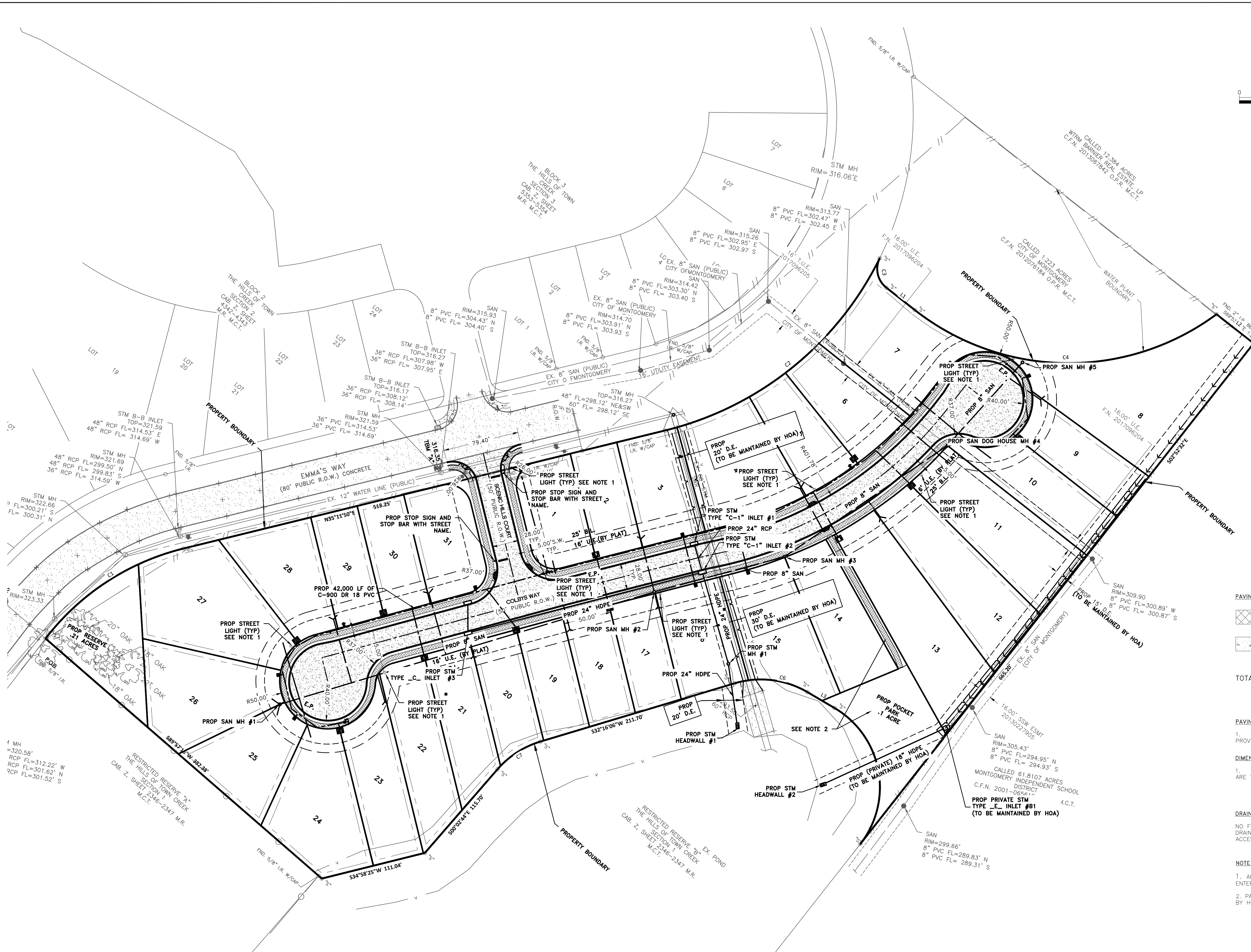
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	1" = 50' (24x36)	SHEET	3
	1" = 100' (11x17)		

09/15/2020

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

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PAVING LEGEND:

	11,272 SF OF 4" CONCRETE
	35,238 SF OF 6" CONCRETE

TOTAL TO IMPERVIOUS AREA= 115,090.15

PAVING NOTES:
1. SEE PAVING DIMENSIONS AND SPECIFICATIONS PROVIDED ON DETAIL SHEETS

DIMENSIONAL CONTROL NOTES:
1. ALL COORDINATE POINTS AND DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

DRAINAGE EASEMENT NOTE:
NO FENCES ARE ALLOWED TO BE CONSTRUCTED OVER DRAINAGE EASEMENT. DRAINAGE EASEMENT TO REMAIN ACCESSIBLE AT ALL TIMES.

NOTE:
1. ALL STREET LIGHTS ARE TO BE PROVIDED BY ENTERGY & ARE REQUIRED TO BE FULL CUT OFF.
2. PARK ACCESS AND SIDEWALK IS TO REMAINTAINED BY HOA.

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HILLS OF TOWN CREEK SECTION 4 OVERALL SITE PLAN AND PAVING PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		4
1" = 50' (24x36)	1" = 100' (11x17)		

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JONATHAN WHITE
PROFESSIONAL ENGINEER
09/15/2020

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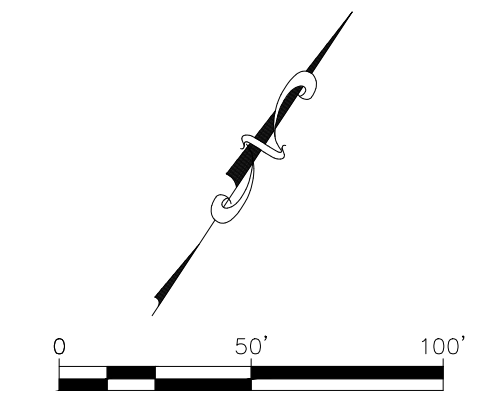
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PRESERVED CANOPY CALCULATION:

QTY	SIZE	TYPE	MULTIPLIER	CANOPY CREDIT
3	24"	OAK	1.5	7,650
2	18"	OAK	1.5	5,100
1	22"	OAK	1.5	2,550
TOTAL PROP. SF				15,300 S.F.

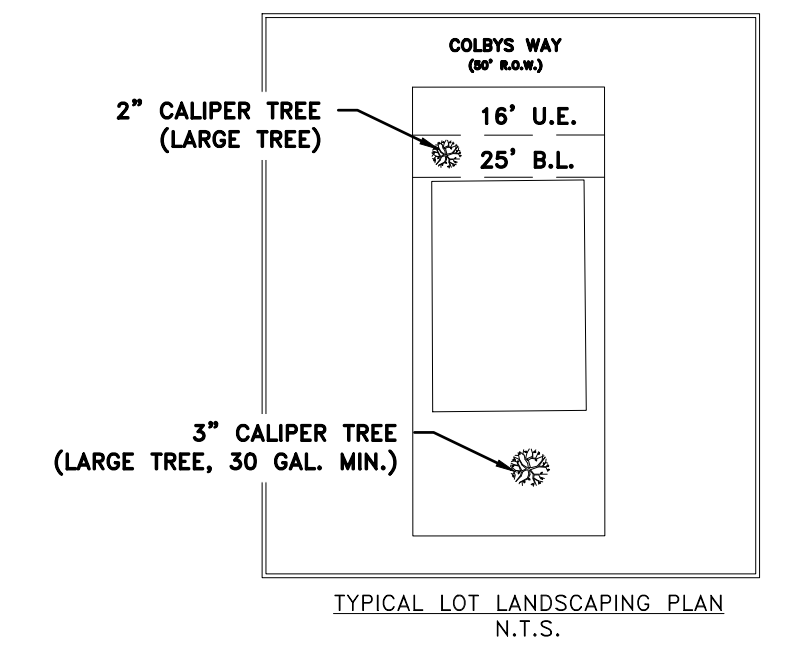
REQUIRED TREE CANOPY CALCULATION:

USE	SIZE	REQUIRED CANOPY %	REQUIRED CANOPY SF
PARK	.1 AC	20%	871 SF
PARK	.21 AC	20%	1830 SF
TOTAL REQUIRED CANOPY			2,701 S.F.



LANDSCAPE LEGEND:
 TREE PRESERVATION AREA

LANDSCAPE NOTES:
 1. LANDSCAPE PLAN IS CONCEPTUAL ONLY AND IS SUBJECT TO CHANGE. DEVELOPER IS TO SUBMIT REVISED LANDSCAPE PLAN TO THE GOVERNING ENTITY FOR APPROVAL IF THIS PLAN CHANGES.
 2. THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING THE TREES AND SHRUBS.
 3. TREES SHALL COMPLY WITH THE APPROVED LIST FOUND IN TABLE 2 OF SECTION 78-176 OF THE CITY OF MONTGOMERY CODE OF ORDINANCES.
 4. PRIOR TO CERTIFICATE OF OCCUPANCY, HOME BUILDER IS TO INSTALL PROPOSED TREES.



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 MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 4 LANDSCAPE PLAN

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#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		5
1" = 50' (24x36)	1" = 100' (11x17)		

CITY OF MONTGOMERY, CITY ENGINEER
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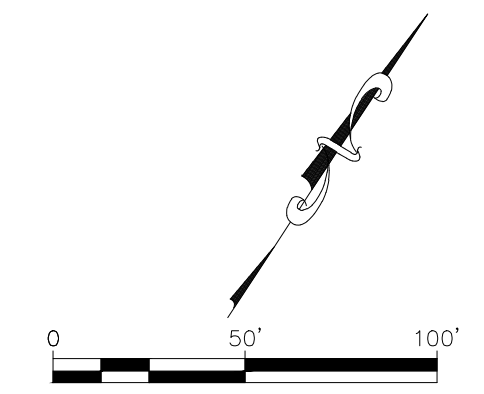
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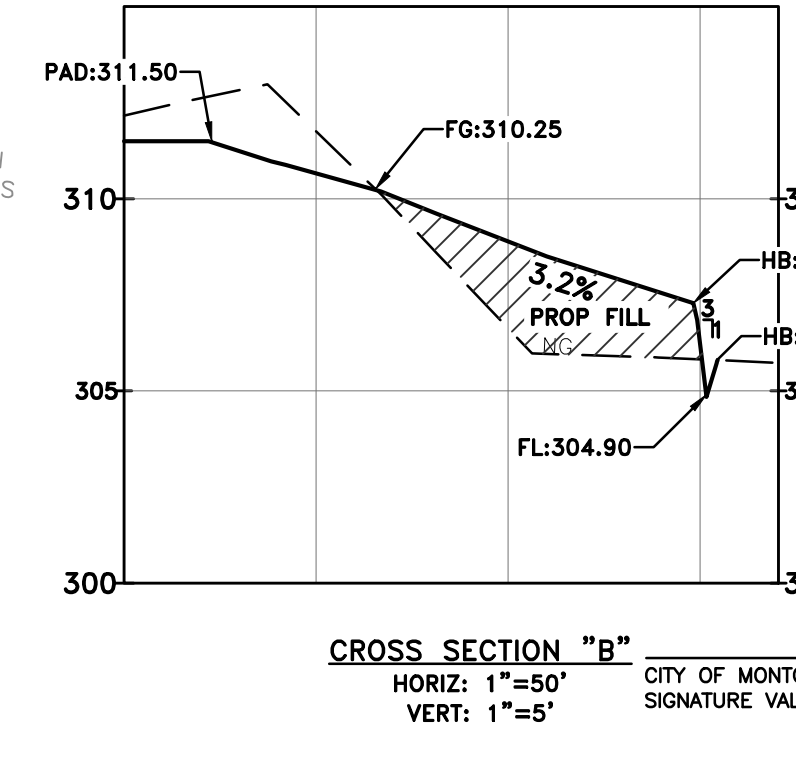
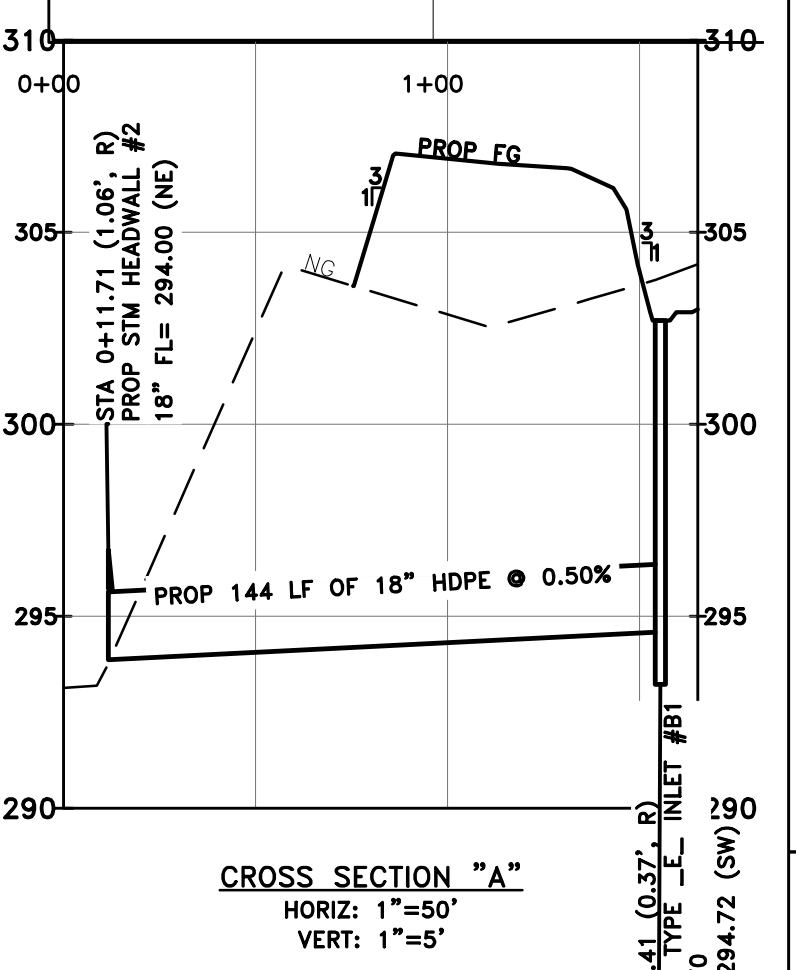
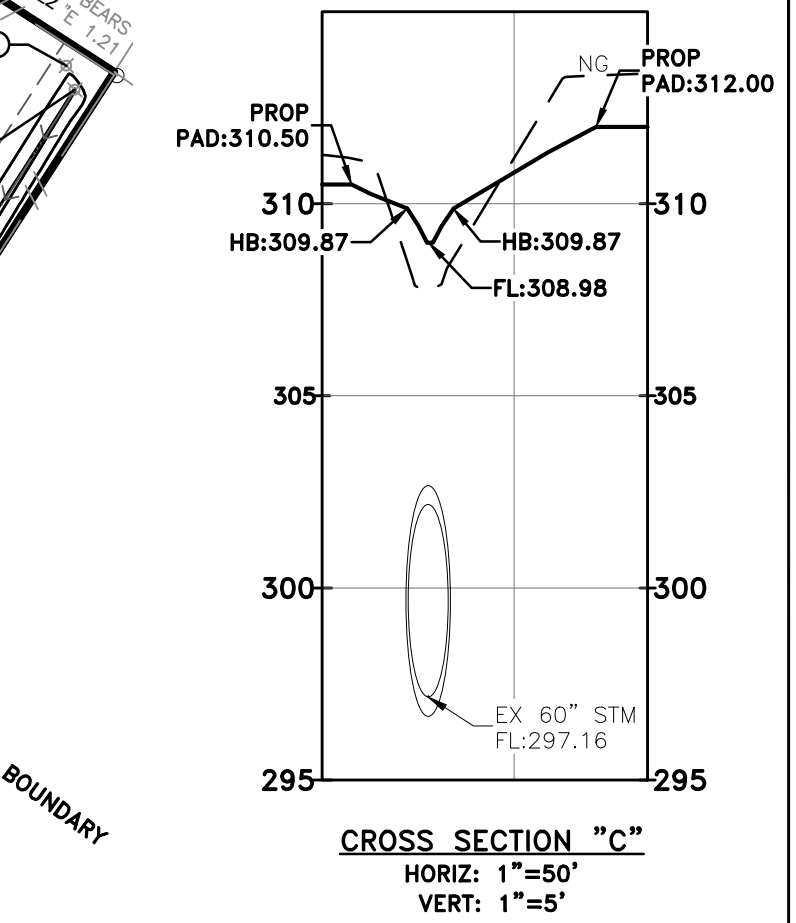
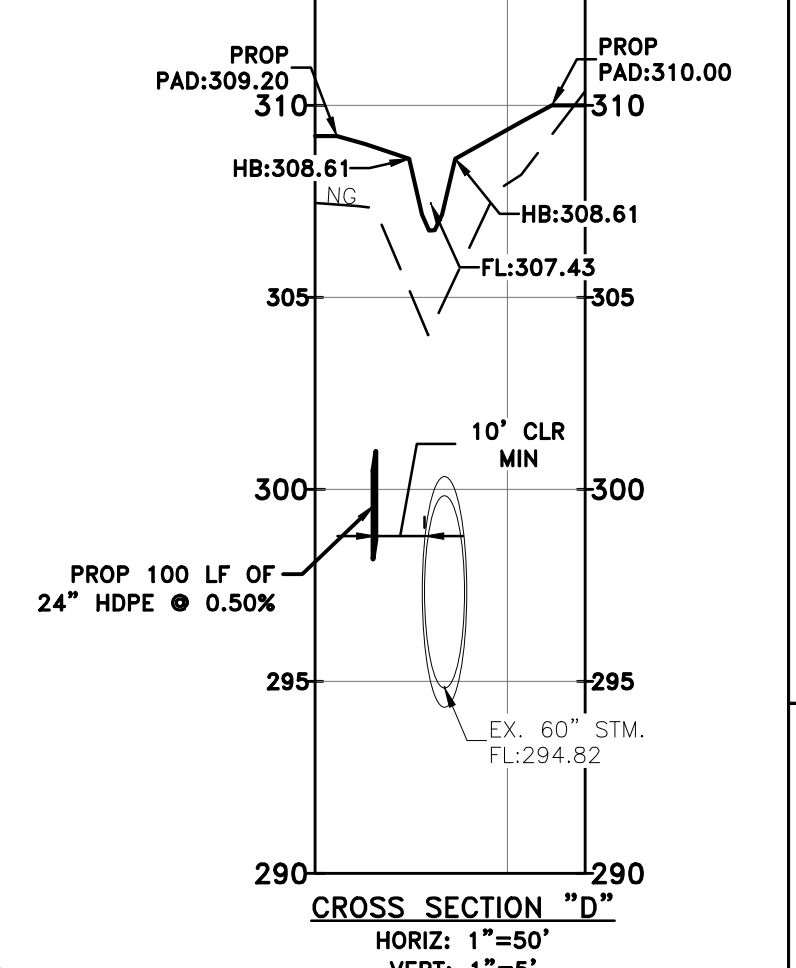
- GRADING NOTES:**
- OWNER, CLIENTS AND/OR CONTRACTORS SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF PAVEMENT PLACEMENT FOR A MANDATORY FORM AND/OR "BLUE TOP" INSPECTION. USE OF THESE PLANS IS CONTINGENT UPON ACCEPTANCE OF THIS NOTE.
 - ADDITIONAL GRADING DESIGN AND DETAILS MAY BE PROVIDED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL ESTABLISH GRADE CONTROL TO PROVIDE ELEVATIONS ON STREETS, LOT PADS, SWALES AND OTHER DRAINAGE FEATURES TO WITHIN A 1" TOLERANCE AS SHOWN ON THE PLANS.
 - FILL MATERIAL USED IN LOT PAD AREAS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - MAXIMUM PLASTICITY INDEX: 20
 - MINIMUM PLASTICITY INDEX: 3
 - MINIMUM AND MAXIMUM PASSING #200 SIEVE: 10% TO 70%
 - NO STONES LARGER THAN 1-1/2"
 - COMPACTION SHOULD BE 95 PERCENT OF MAXIMUM LABORATORY DENSITY DETERMINED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS, METHOD ASTM D 698, USING A COMPACTIVE EFFORT OF 7.16 FOOT-LEBS/IN²
 - CONTRACTOR SHALL PROVIDE A 110 LB SAMPLE OF PROPOSED FILL MATERIAL TO THE GEOTECHNICAL ENGINEER FOR APPROVAL AND FOR DETERMINATION OF MOISTURE-DENSITY RELATIONSHIP IN ADVANCE OF FILLING AND COMPACTION OPERATIONS TO PERMIT INSPECTION AND TESTING AS FILL IS PLACED. NOT LESS THAN ONE FIELD DENSITY TEST PER 2000 SQUARE FEET OR MINIMUM OF 3 PER LIFT IS REQUIRED.
 - CONTRACTOR TO REMOVE AND STALK PILE TOP 6" OF TOP SOIL MATERIAL FROM ENTIRE SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL THEN REPLACE AND SPREAD TOP SOIL ON ENTIRE SITE TO MATCH FINAL GRADE SHOWN ON THE PLANS.
 - DRAINAGE AREA WITHIN DRAINAGE EASEMENT TO BE MAINTAINED BY HOA AND IS TO REMAIN CLEAR OF FENCES, LANDSCAPING ETC.

- LEGEND:**
- × 323.00 EXISTING ELEVATION POINT
 - MEP=323.00 PROPOSED TOP OF CURB
 - TG=323.00 PROPOSED TOP OF CURB
 - FL=323.00 PROPOSED FLOWLINES AT LOT LINE SWALES
 - PAD=323.00 PROPOSED PAD ELEVATION
 - TW=323.00 TOP OF WALK
 - A TYPE A GRADING (TO FRONT)
 - B TYPE B GRADING (TO REAR)
 - C TYPE C GRADING (TO FRONT AND DITCH)
 - PROP LOT LINE SWALE
 - 1.0% SLOPE
 - CROSS SECTION



Cut/Fill	Fill	Net
Cut	7,628	670
CU. YD.	CU. YD.	CU. YD.

*INCLUDES STRIPPING AND PAVEMENT ADJUSTMENT



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HILLS OF TOWN CREEK SECTION 4 GRADING PLAN

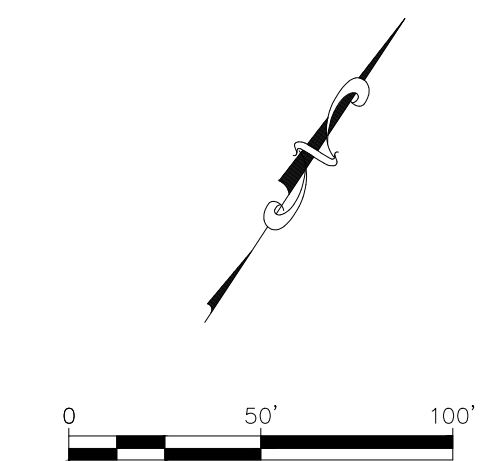
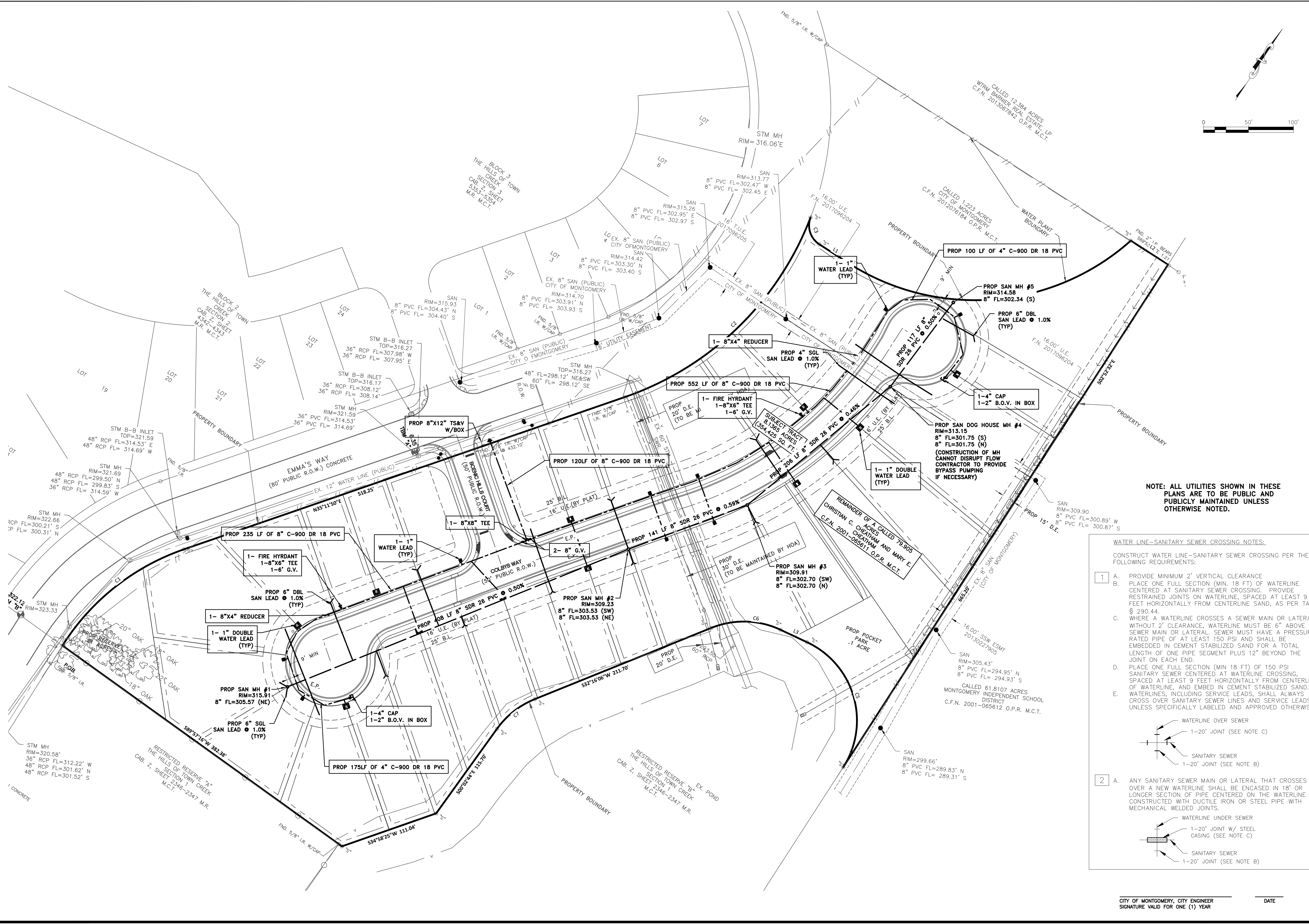
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		6
1" = 50' (24x36)			
1" = 100' (11x17)			

STATE OF TEXAS
JONATHAN T. WHITE
127058
LICENSED PROFESSIONAL ENGINEER
09/15/2020

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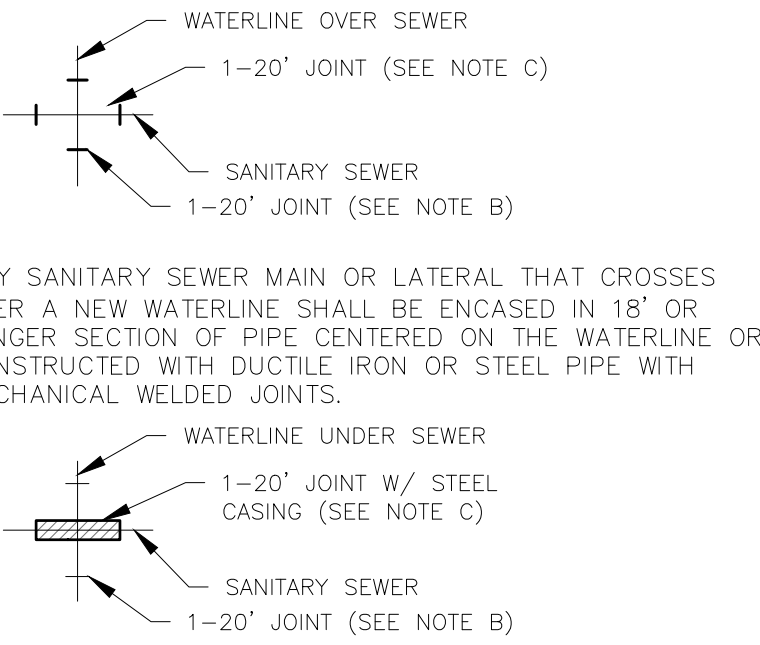
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NOTE: ALL UTILITIES SHOWN IN THESE PLANS ARE TO BE PUBLIC AND PUBLICLY MAINTAINED UNLESS OTHERWISE NOTED.

WATER LINE-SANITARY SEWER CROSSING NOTES:

- CONSTRUCT WATER LINE-SANITARY SEWER CROSSING PER THE FOLLOWING REQUIREMENTS:
1. A. PROVIDE MINIMUM 2' VERTICAL CLEARANCE
 - B. PLACE ONE FULL SECTION (MIN. 18 FT.) OF WATERLINE CENTERED AT SANITARY SEWER CROSSING. PROVIDE RESTRAINED JOINTS ON WATERLINE, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE SAND, AS PER TAC § 290.44.
 - C. WHERE A WATERLINE CROSSES A SEWER MAIN OR LATERAL WITHOUT 2' CLEARANCE, WATERLINE MUST BE 6" ABOVE SEWER MAIN OR LATERAL. SEWER MUST HAVE A PRESSURE RATED PIPE OF AT LEAST 150 PSI AND SHALL BE EMBEDDED IN CEMENT STABILIZED SAND FOR A TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12" BEYOND THE JOINT ON EACH END.
 - D. PLACE ONE FULL SECTION (MIN 18 FT.) OF 150 PSI SANITARY SEWER CENTERED AT WATERLINE CROSSING, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE OF WATERLINE, AND EMBED IN CEMENT STABILIZED SAND. WATERLINES, INCLUDING SERVICE LEADS, SHALL ALWAYS CROSS OVER SANITARY SEWER LINES AND SERVICE LEADS UNLESS SPECIFICALLY LABELED AND APPROVED OTHERWISE.



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HILLS OF TOWN CREEK SECTION 4 UTILITY PLAN

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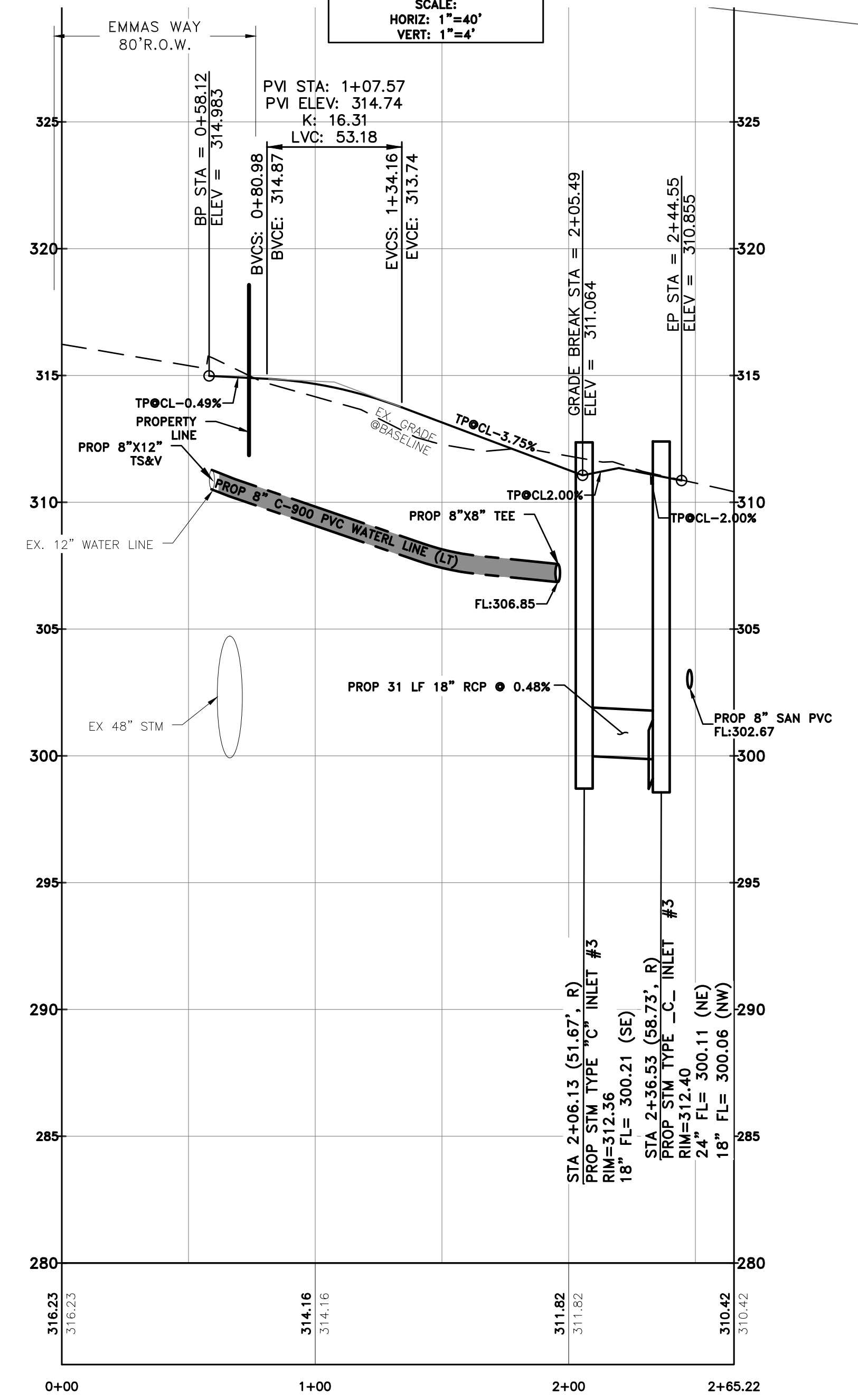
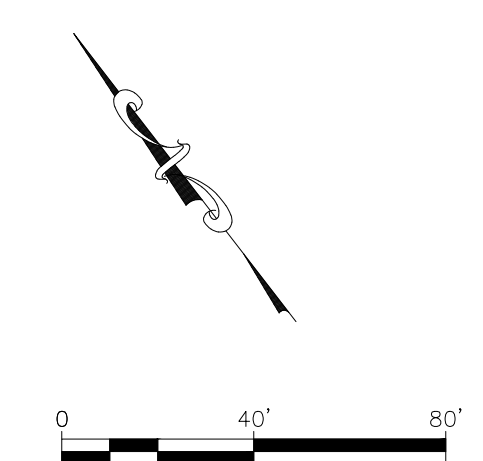
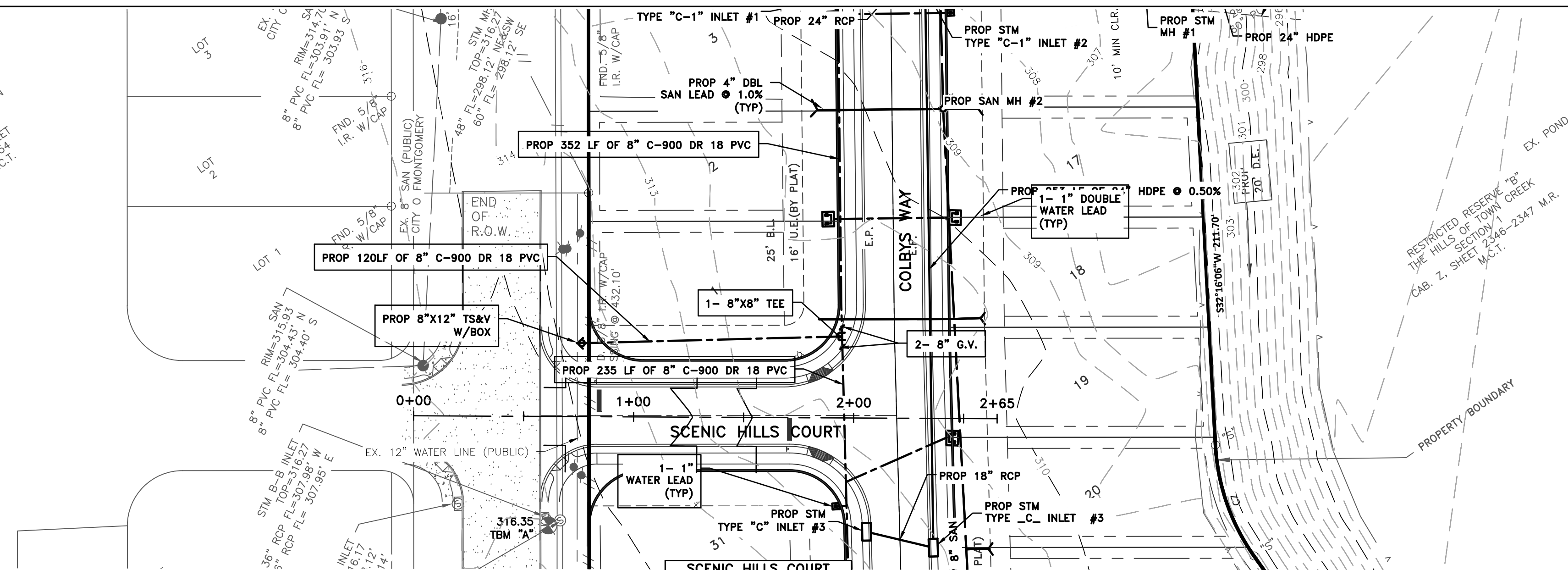
DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	1" = 50' (24x36)	SHEET	7
	1" = 100' (11x17)		

127058
JONATHAN WHITE
PROFESSIONAL ENGINEER
STATE OF TEXAS
09/15/2020

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2100 3
HILLS OF TOWN
SECTION 4
C&G - 11 - SHEET
5353-5354
M.R. M.C.T.



VERTICLE CURVE TABLE

Station	Elevation	Slope	Notes
0+58.12	314.98'		PVI
0+68.12	314.93'	-0.49%	
0+78.12	314.88'	-0.49%	
0+80.98	314.87'	-0.49%	PVC
0+88.12	314.82'	-0.71%	
0+98.12	314.70'	-1.24%	
1+07.57	314.52'	-1.83%	Crest
1+08.12	314.51'	-2.14%	
1+18.12	314.26'	-2.46%	
1+28.12	313.96'	-3.08%	
1+34.16	313.74'	-3.57%	PVT

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MONTGOMERY, TEXAS 77156
OFFICE: 936-647-0420

CLIENT INFORMATION
CHEATHAM MANAGEMENT, LLC
CHIRS CHEATHAM
PO BOX 234
MONTGOMERY, TX 77356
PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 4 SCENIC HILLS COURT PLAN AND PROFILE

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION

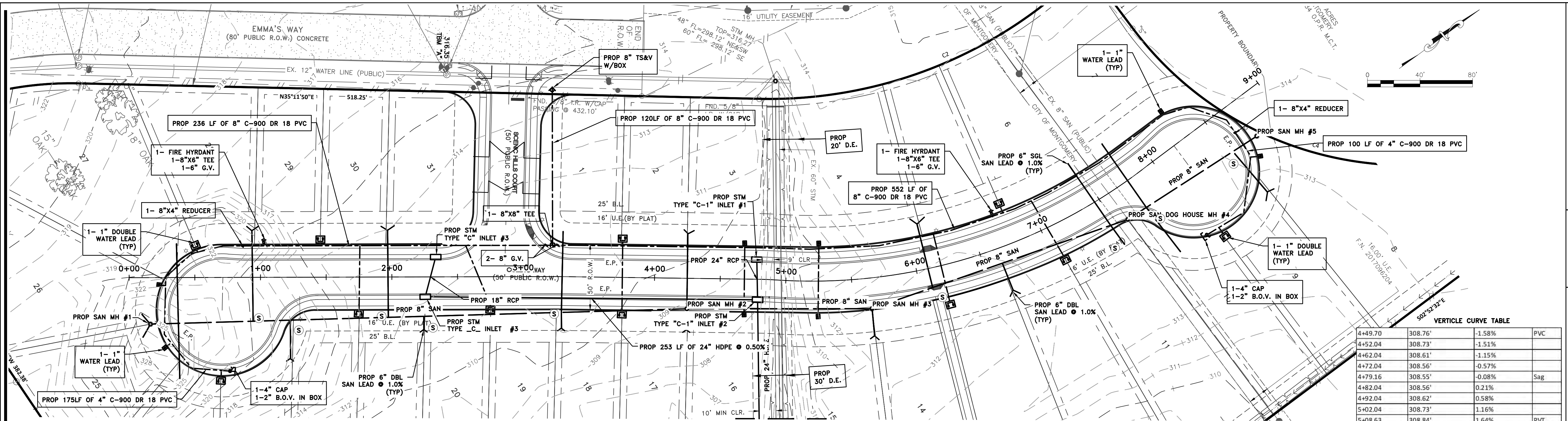
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		
1" = 40' (24x36)			
1" = 80' (11x17)			8

09/15/2020

CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



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CHEATHAM MANAGEMENT, LLC
CHRS CHEATHAM
PO BOX 234
MONTGOMERY, TX 77156
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EMMA'S WAY
MONTGOMERY TEXAS

VERTICLE CURVE TABLE

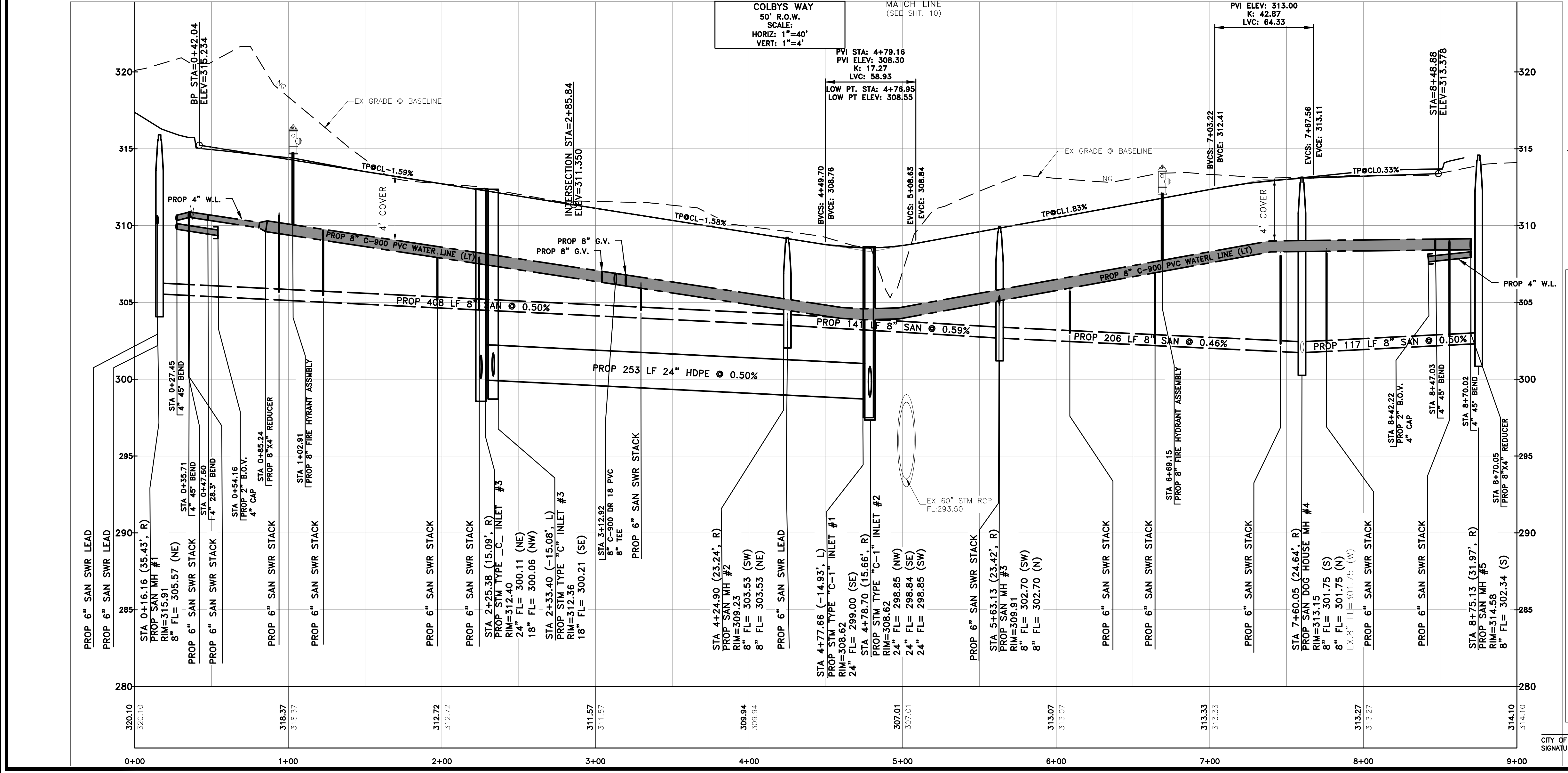
4+49.70	308.76'	-1.58%	PVC
4+52.04	308.73'	-1.51%	
4+62.04	308.61'	-1.15%	
4+72.04	308.56'	-0.57%	
4+79.16	308.55'	-0.08%	Sag
4+82.04	308.56'	0.21%	
4+92.04	308.62'	0.58%	
5+02.04	308.73'	1.16%	
5+08.63	308.84'	1.64%	PVT

7+03.22	312.41'	1.83%	PVC
7+12.04	312.56'	1.73%	
7+22.04	312.71'	1.51%	
7+32.04	312.84'	1.28%	
7+35.39	312.88'	1.12%	Crest
7+42.04	312.95'	1.01%	
7+52.04	313.03'	0.81%	
7+62.04	313.08'	0.58%	
7+67.56	313.11'	0.40%	PVT

- NOTES:**
- ALL LONGSIDE LEADS SHALL INCLUDE STACKS, RISERS, TEES, WYES, AND ALL APPURTENANCES TO END AT A DEPTH OF 4'-5" BELOW NATURAL GROUND.
 - ALL SANITARY SEWER SERVICE LINES TO BE 1% SLOPE, UNLESS OTHERWISE NOTED
 - ALL FIRE HYDRANTS TO BE LOCATED 3' BEHIND BACK OF CURB.
 - ALL UTILITY LEADS UNDER PAVEMENT IN CUL-DE-SACS AND/OR KNUCKLES TO BE BACKFILLED WITH CEMENT STABILIZED SAND UP TO PAVEMENT SUBGRADE.

SAN LEAD TABLE

STATION & OFFSET	LENGTH	START FL	END FL
0+14.66, 33.89	3.61	310.14	310.21
0+15.03, 37.30	5.20	310.09	310.18
0+37.36, 34.50	59.99	310.40	311.00
0+37.40, 35.15	41.67	310.40	310.81
0+94.32, 33.35	66.78	310.07	310.76
1+22.64, 32.82	26.95	308.87	309.16
1+97.26, 30.67	64.23	307.42	308.08
2+24.27, 30.25	8.03	307.42	307.52
3+29.40, 26.97	59.11	305.57	306.18
3+29.43, 27.27	9.86	305.39	305.50
4+24.91, 21.13	52.86	303.60	304.15
4+24.92, 25.40	11.73	303.45	303.59
5+63.29, 25.14	16.79	304.77	304.95
6+09.29, 14.77	45.84	305.31	305.81
6+63.69, 12.09	19.68	306.26	306.48
7+47.30, 21.56	15.75	307.98	308.15
7+47.30, 21.56	53.20	307.57	308.14
7+75.87, 25.03	40.49	307.82	308.24
7+75.87, 25.03	55.13	307.80	308.38
8+53.66, 32.77	36.02	308.29	308.67



HILLS OF TOWN CREEK SECTION 4

COLBYS WAY PLAN AND PROFILE

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

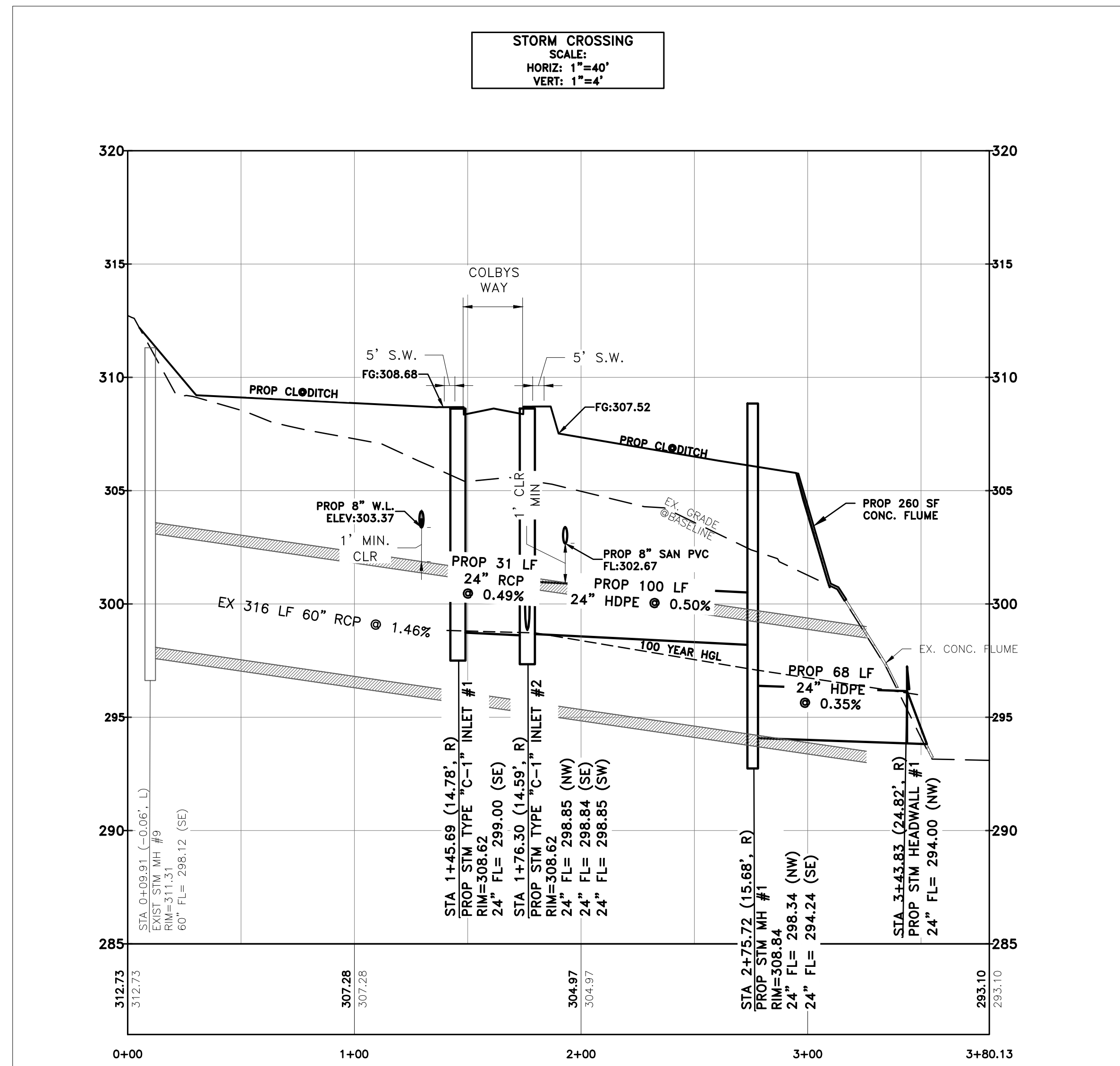
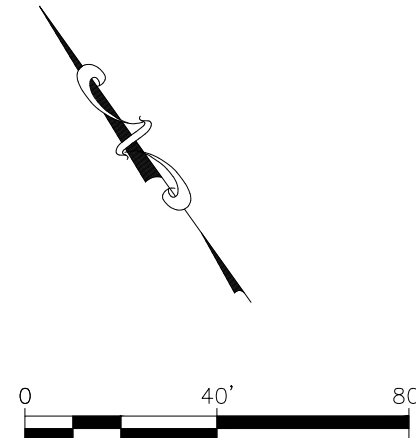
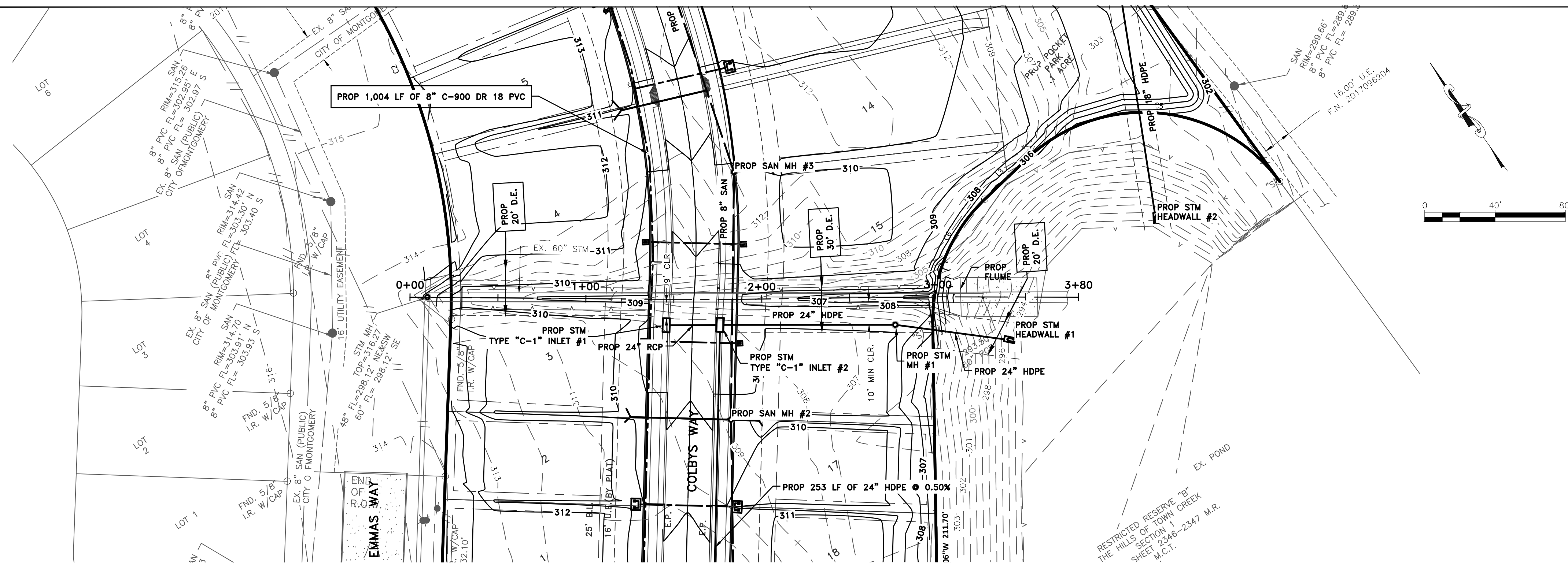
DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		9
1" = 40' (24x36)		1" = 80' (11x17)	

STATE OF TEXAS
JONATHAN T. WHITE
127058
LICENSED PROFESSIONAL ENGINEER
09/15/2020

CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

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DRAINAGE EASEMENT NOTE:
 NO FENCES ARE ALLOWED TO BE CONSTRUCTED OVER DRAINAGE EASEMENT. DRAINAGE EASEMENT TO REMAIN ACCESSIBLE AT ALL TIMES. SWALE IS TO REMAIN CLEAR OF OBSTRUCTIONS AND BE MAINTAINED BY THE HOA.

CITY OF MONTGOMERY, CITY ENGINEER
 SIGNATURE VALID FOR ONE (1) YEAR

L SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.L2ENGINEERING.COM
 21123 EVA STREET #200
 MONTGOMERY, TEXAS 77156
 OFFICE: 936-647-0420

CLIENT INFORMATION
 CHEATHAM MANAGEMENT, LLC
 CHIRS CHEATHAM
 PO BOX 234
 MONTGOMERY, TX 77356
PROJECT ADDRESS
 EMMAS WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 4 STORM SEWER CROSSING PLAN AND PFOFILE @ COLBYS WAY

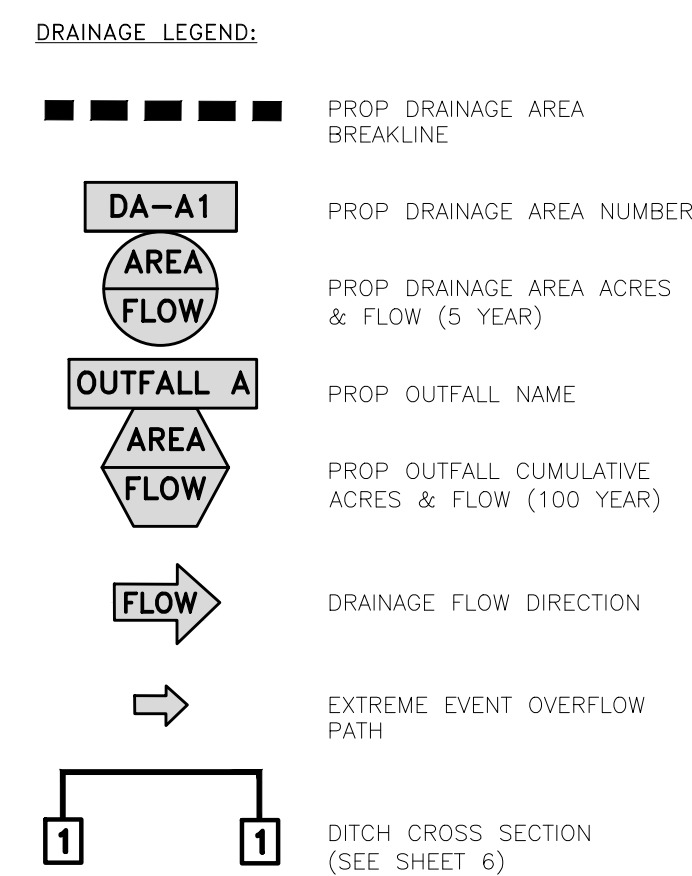
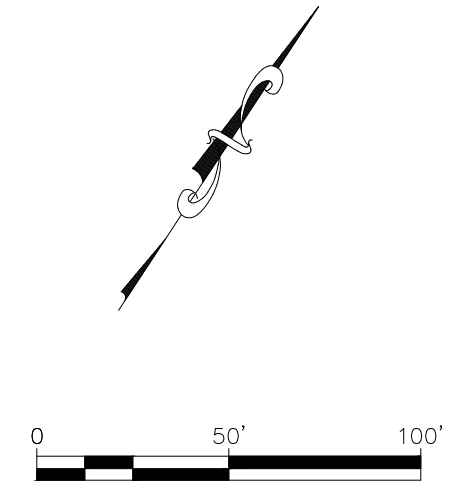
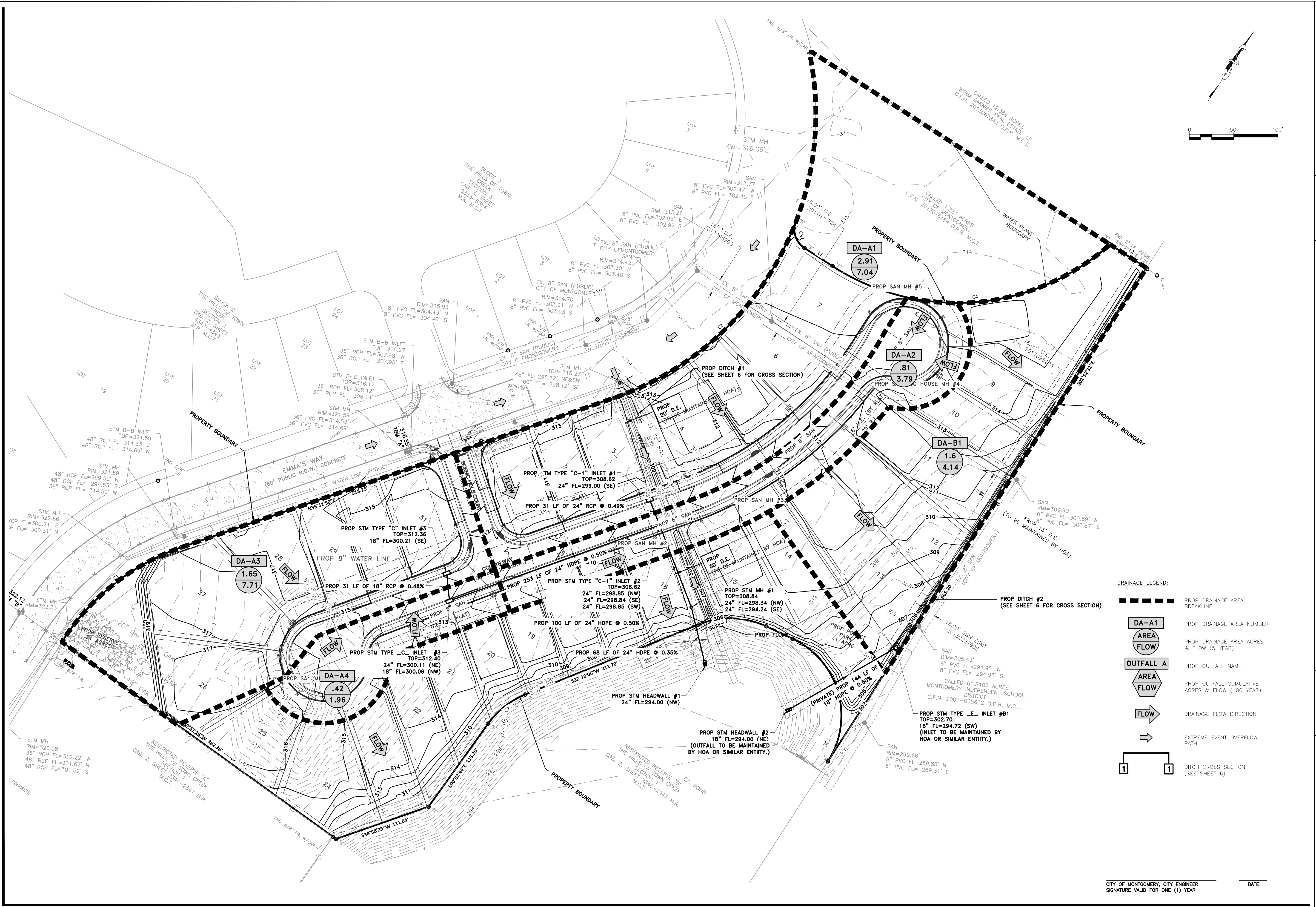
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		10
1" = 40' (24x36)	1" = 80' (11x17)		

JONATHAN T. WHITE
 127058
 PROFESSIONAL ENGINEER
 STATE OF TEXAS
 09/15/2020

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

S:\ENGINEERING PROJECTS\10600 - HILLS OF TOWN CREEK SECTION 4\03 CAD\DESIGN SET\11 DRAINAGE AND STORM SEWER PLAN.DWG Sep. 15, 2020-4:02 PM



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CLIENT INFORMATION
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 CHRIS CHEATHAM
 PO BOX 234
 MONTGOMERY, TX 77356

PROJECT ADDRESS
 EMMA'S WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 4 DRAINAGE & STORM SEWER PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		
1" = 50' (24x36)			
1" = 100' (11x17)			11

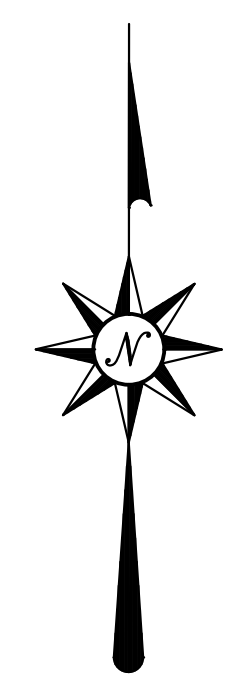
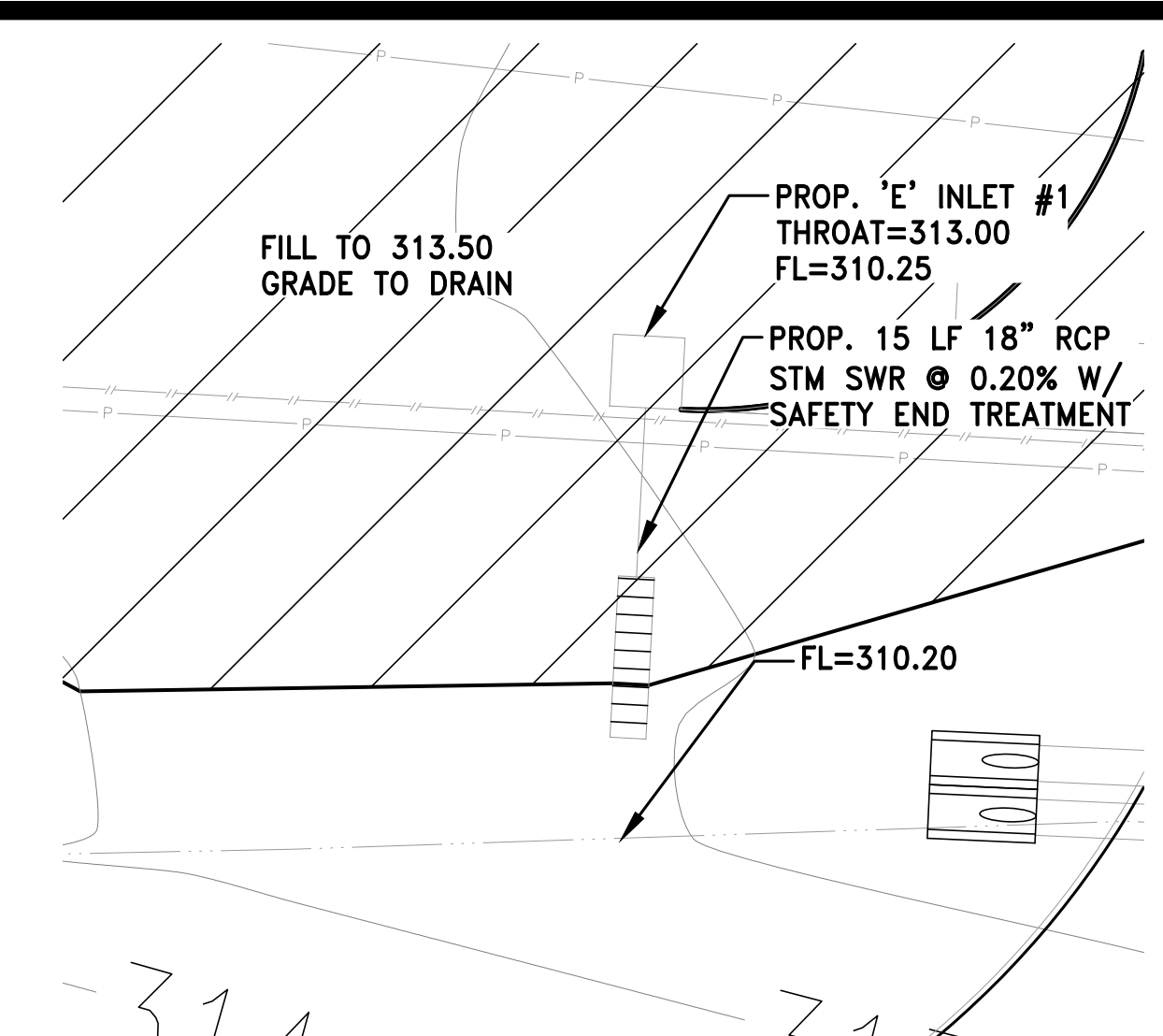
STATE OF TEXAS
 JONATHAN T. WHITE
 127058
 LICENSED PROFESSIONAL ENGINEER

09/15/2020

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DATE

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DETAIL 'A'
SCALE: 1"=10'

LEGEND

- PROPERTY LINE
- PROPOSED STORM SEWER (BY OTHERS)
- PROPOSED SANITARY SEWER (BY OTHERS)
- PROPOSED WATERLINE (BY OTHERS)
- PROPOSED PAVEMENT (BY OTHERS)
- 295 EXISTING CONTOUR MAJOR
- 294 EXISTING CONTOUR MINOR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING EASEMENT
- EXISTING BUILDING LINE
- EXISTING POWERLINE
- EXISTING DITCH
- EXISTING FENCE
- PROPOSED RIGHT-OF-WAY
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERLINE
- PROPOSED PAVEMENT
- PROPOSED EASEMENT
- PROPOSED DRAINAGE AREAS

100 YR STORM EVENT UNLESS NOTED OTHERWISE. CALCULATED WITH RATIONAL METHOD, TC = 10 MIN. (TYP.)

CUMULATIVE AREA STORM EVENT

TC = TIME OF CONCENTRATION

PROPOSED FLOW DIRECTION (DEVELOPED)

- Note 1: DA's D1 thru D12 shall not discharge more than the flow indicated. Future development to utilize mitigation as needed to reduce flow appropriately.
- Note 2: Future development in DA's D19 and D20 shall provide storm water conveyance for developed flows directly to detention pond via storm sewer and extreme event swales.
- Note 3: Drainage System's A, B, & C shall discharge directly to road ditches in the amounts shown. Excess flow shall be mitigated as appropriate in future development. A restrictor may be required to mitigate flows to TXDOT drainage facility capacities.
- Note 4: Drainage System E shall discharge directly to the Town Creek Tributary in future development.
- Note 5: Drainage System Total Flows as shown in Drainage System labels are calculated using TR-55 Methodology with a SCS Type III Storm. Expect some variation between calculated rational flows which were utilized in the storm sewer design (shown in circles).
- Note 6: The Drainage and Grading plan for any future development in systems "C" & "E" must be reviewed and approved by TXDOT.

DRAWING ISSUE/REVISIONS			
No.	DATE	BY	COMMENT

L SQUARED ENGINEERING
Civil • Consulting • Management

CLIENT
CHEATHAM

THE HILLS OF TOWN CREEK
SECTION 1 SUBDIVISION PLANS
OVERALL DRAINAGE AREAS

PROJECT LOCATION
AT THE INTERSECTION OF LONESTAR PARKWAY AND HIGHWAY 105
MONTGOMERY COUNTY, TEXAS

PROJECT LEGAL DESCRIPTION
12.384 Acres of land being part of that certain 79.9035 Acre Tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31

SEAL

DATE: 11/12/2012
PROJECT NO.: 10003
DRAWN BY: CBJ
SCALE: 1"=200'
DRAWING NO.: 12

S:\ENGINEERING PROJECTS\10600 - HILLS OF TOWN CREEK SECTION 4\03 CAD\DESIGN SET\12 DRAINAGE CALCULATIONS.DWG Sep. 15, 2020 - 4:04 PM

5 Year																							HGL						
Inlet Info																							Change In Head (ft)	Hydraulic Gradeline %	Elevation of Hyd. Grad. Upstream (ft)	Hyd. Grad. Downstream (ft)			
Inlet/MH From	Inlet/MH To	Drainage Area	Total Drainage Area	Runoff Co. "C"	DA C*A	Total C*A	Drainage Area Time of Conc. (Min)	Total Time of Conc. (Min)	Drainage Area Intensity (I)	Total Drainage Area Intensity (I)	Cf	Drainage Area Flow (cfs)	Total Flow (cfs)	Number of Barrels	Diameter (ft)	Slope	Area (A)	Perimeter (P)	R=(A/P)	Length (ft)	Roughness (n)	Q capacity (CFS)	V full flow (FPS)	Upstream FL	Downstream FL				
A3	A4	1.65	1.65	0.55	0.91	0.91	5	5	8.5	8.5	1.00	7.71	7.71	1	1.5	0.0050	1.77	4.71	0.375	30	0.013	7.43	4.20	300.21	300.06	0.16	0.54	296.95	296.79
A4	A2	0.42	2.07	0.55	0.23	1.14	5	5	8.5	8.5	1.00	1.96	9.68	1	2	0.0050	3.14	6.28	0.5	243	0.011	18.86	6.00	300.06	298.85	0.32	0.13	296.79	296.47
A1	A2	2.91	2.91	0.55	1.60	1.60	26.24	26.24	4.40	4.40	1.00	7.04	7.04	1	2	0.0050	3.14	6.28	0.5	30	0.013	15.99	5.09	299	298.85	0.03	0.10	296.50	296.47
A2	MH1	0.81	5.79	0.55	0.45	3.18	5	26.24	8.50	4.40	1.00	3.79	14.01	1	2	0.0050	3.14	6.28	0.5	102	0.011	18.90	6.02	298.85	298.34	0.28	0.27	296.47	296.19
MH1	OUT	0	5.79	0.55	0.00	3.18	0	26.24	0.00	4.40	1.00	0.00	14.01	1	2	0.0035	3.14	6.28	0.5	66	0.011	15.88	5.05	294.24	294	0.19	0.27	296.19	296.00
Starting TW Elevation:																										296			

100 Year																							HGL						
Inlet Info																							Change In Head (ft)	Hydraulic Gradeline %	Elevation of Hyd. Grad. Upstream (ft)	Hyd. Grad. Downstream (ft)			
Inlet/MH From	Inlet/MH To	Drainage Area	Total Drainage Area	Runoff Co. "C"	DA C*A	Total C*A	Drainage Area Time of Conc. (Min)	Total Time of Conc. (Min)	Drainage Area Intensity (I)	Total Drainage Area Intensity (I)	Cf	Drainage Area Flow (cfs)	Total Flow (cfs)	Number of Barrels	Diameter (ft)	Slope	Area (A)	Perimeter (P)	R=(A/P)	Length (ft)	Roughness (n)	Q capacity (CFS)	V full flow (FPS)	Upstream FL	Downstream FL				
A3	A4	1.65	1.65	0.55	0.91	0.91	5	5	14.8	14.8	1.25	16.79	16.79	1	1.5	0.0050	1.77	4.71	0.375	30	0.013	7.43	4.20	300.21	300.06	0.77	2.54	300.28	299.52
A4	A2	0.42	2.07	0.55	0.23	1.14	5	5	14.8	14.8	1.25	4.27	21.06	1	2	0.0050	3.14	6.28	0.5	243	0.011	18.86	6.00	300.06	298.85	1.51	0.62	299.52	298.01
A1	A2	2.91	2.91	0.55	1.60	1.60	26.24	26.2	7.30	7.30	1.25	14.60	14.60	1	2	0.0050	3.14	6.28	0.5	30	0.013	15.99	5.09	299	298.85	0.12	0.41	298.13	298.01
A2	MH1	0.81	5.79	0.55	0.45	3.18	5	26.2	14.80	7.30	1.25	4.07	29.06	1	2	0.0050	3.14	6.28	0.5	102	0.011	18.90	6.02	298.85	298.34	1.20	1.18	298.01	296.80
MH1	OUT	0.00	5.79	0.55	0.00	3.18	0	26.2	0.00	7.30	1.25	0.00	29.06	1	2	0.0035	3.14	6.28	0.5	66	0.011	15.88	5.05	294.24	294	0.90	1.18	296.80	296.00
Starting TW																										296			

5 Year																							HGL						
Inlet Info																							Change In Head (ft)	Hydraulic Gradeline %	Elevation of Hyd. Grad. Upstream (ft)	Hyd. Grad. Downstream (ft)			
Inlet/MH From	Inlet/MH To	Drainage Area	Total Drainage Area	Runoff Co. "C"	DA C*A	Total C*A	Drainage Area Time of Conc. (Min)	Total Time of Conc. (Min)	Drainage Area Intensity (I)	Total Drainage Area Intensity (I)	Cf	Drainage Area Flow (cfs)	Total Flow (cfs)	Number of Barrels	Diameter (ft)	Slope	Area (A)	Perimeter (P)	R=(A/P)	Length (ft)	Roughness (n)	Q capacity (CFS)	V full flow (FPS)	Upstream FL	Downstream FL				
B1	OUT	1.60	1.60	0.55	0.88	0.880	23.31	23.31	4.70	4.70	1.00	4.14	4.14	1	1.5	0.0050	1.77	4.71	0.375	120	0.011	8.78	4.97	294.6	294	0.13	0.11	295.63	295.50
Starting TW Elevation:																										295.5			

100 Year																							HGL						
Inlet Info																							Change In Head (ft)	Hydraulic Gradeline %	Elevation of Hyd. Grad. Upstream (ft)	Hyd. Grad. Downstream (ft)			
Inlet/MH From	Inlet/MH To	Drainage Area	Total Drainage Area	Runoff Co. "C"	DA C*A	Total C*A	Drainage Area Time of Conc. (Min)	Total Time of Conc. (Min)	Drainage Area Intensity (I)	Total Drainage Area Intensity (I)	Cf	Drainage Area Flow (cfs)	Total Flow (cfs)	Number of Barrels	Diameter (ft)	Slope	Area (A)	Perimeter (P)	R=(A/P)	Length (ft)	Roughness (n)	Q capacity (CFS)	V full flow (FPS)	Upstream FL	Downstream FL				
B1	OUT	1.60	1.60	0.55	0.88	0.88	23.305871	23.3	7.80	7.80	1.25	8.58	8.58	1	1.5	0.0050	1.77	4.71	0.375	120	0.011	8.78	4.97	294.6	294	0.57	0.48	296.07	295.50
Starting TW																										295.5			

HOTC MASTER DRAINAGE CALCS:

Drainage Area: DA-A1							
Segment:	Flow Type	n	length	slope	V, if req'd.	>>>>	Time (hr) Time (min)
1	sheet		0.24	150	0.0233	N/A	0.37 21.97
2	shallow		506	0.0150	1.97606		0.07 4.27
			656				26.24

Drainage Area: DA-A2							
Segment:	Flow Type	n	length	slope	V, if req'd.	>>>>	Time (hr) Time (min)
1	sheet		0.011	50	0.0100	N/A	0.02 1.18
2	shallow		500	0.0150	1.97606		0.07 4.22
			550				5.40

Drainage Area: DA-B1							
Segment:	Flow Type	n	length	slope	V, if req'd.	>>>>	Time (hr) Time (min)
1	sheet		0.24	150	0.0233	N/A	0.37 21.97
2	shallow		400	0.0200	5.00000		0.02 1.33
			550				23.31

Drainage Area: OF DA-D									
Segment:	Flow Type	n	length	slope	Paved?	V, if req'd.	>>>>	Time (hr)	Time (min)
1	sheet		0.24	100	0.0100	yes	N/A	0.40	24.27
2	shallow		906	0.0050	yes	1.43742081		0.18	10.50
			1006				34.77		

Drainage Area: OF DA-D19B									
Segment:	Flow Type	n	length	slope	Paved?	V, if req'd.	>>>>	Time (hr)	Time (min)
1	sheet		0.011	300	0.0050	yes	N/A	0.12	7.02
2	shallow		350	0.0050	yes	1.43742081		0.07	4.06
			650				11.08		

Drainage Calculations (100-Yr)						
Drainage Area	Area	Tc	C	I	Ci	Q
OF DA-D	7.4	34.77	0.55	6.20	1.25	31.54
OF DA-D19B	3.99	11.08	0.85	11.2	1.25	40.34
OF DA-D19A	1.41	5.00	0.85	14.8	1.25	22.17

Drainage Ditch Capacity															
Ditch No.	Contributing DA	Depth	Right Sideslope (ft):1	Left Sideslope (ft):1	Bottom Width	Top Width	Area (A)	Wetted Perimeter (P)	R=(A/P)	Slope (S) (ft/ft)	Roughness (n)	>>>>	Q capacity (CFS)	V full flow (FPS)	100-Yr Flow Capacity?
1	OF DA-D, DA-A1, DA-A2	1.5	3	3	2	11.00	9.75	11.49	0.84879793	0.0185	0.027		65.43	6.71	60.60 yes
2	OF DA-19B, DA-B1	1.5	3	3	0	9.00	6.75	9.49	0.71151247	0.03	0.027		51.28	7.60	48.92 yes

CITY OF MONTGOMERY, CITY ENGINEER SIGNATURE VALID FOR ONE (1) YEAR _____ DATE _____



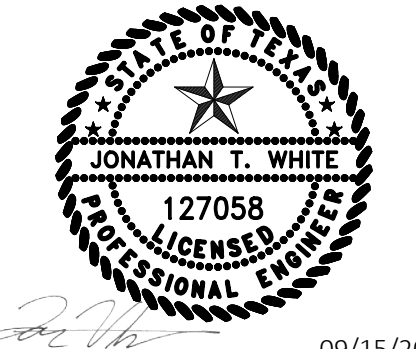
L SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.L2ENGINEERING.COM
 21123 EVA STREET #200
 MONTGOMERY, TEXAS 77156
 OFFICE: 936-647-0420

CLIENT INFORMATION
 CHEATHAM MANAGEMENT, LLC
 CHIRS CHEATHAM
 PO BOX 234
 MONTGOMERY, TX 77356
 PROJECT ADDRESS
 CENNA'S WAY
 MONTGOMERY, TEXAS

HILLS OF TOWN CREEK SECTION 4 DRAINAGE CALCULATIONS

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

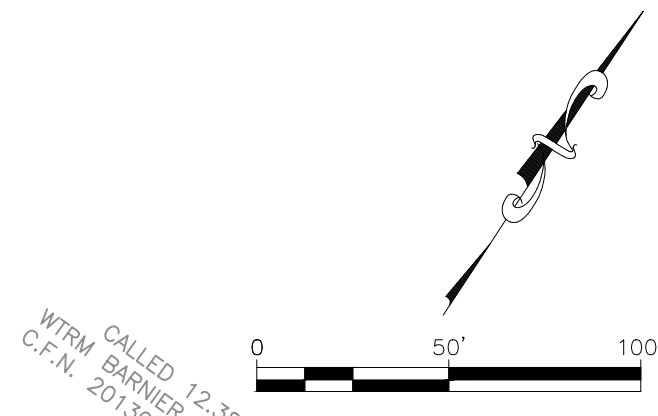
DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		
	13		








127058
 JONATHAN T. WHITE
 PROFESSIONAL ENGINEER
 09/15/2020

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

S:\ENGINEERING PROJECTS\10600 - HILLS OF TOWN CREEK SECTION 4\03 CAD\DESIGN SET\14 TEMP SWPP PLAN.DWG Sep. 15, 2020-4:04 PM



- SWPP PLAN LEGEND:**
-  CONTINUOUS FILTER FABRIC FENCE
 -  STABILIZED CONSTRUCTION ENTRANCE
 -  IPB
 -  SBB
 -  CTM

SWPP PLAN NOTES:

- ADDITIONAL EROSION PROTECTION MEASURES MAY BE NECESSARY DURING CONSTRUCTION.

CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR



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PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS


HILLS OF TOWN CREEK SECTION 4 TEMPORARY STORM WATER POLLUTION PREVENTION PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	09/15/20	JTW	FOR PERMIT

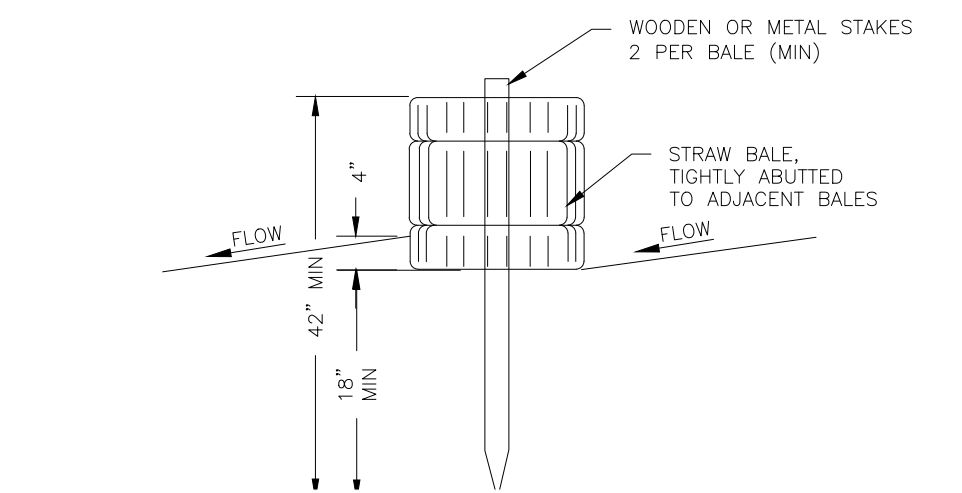
DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		
1" = 50' (24x36)			
1" = 100' (11x17)			14



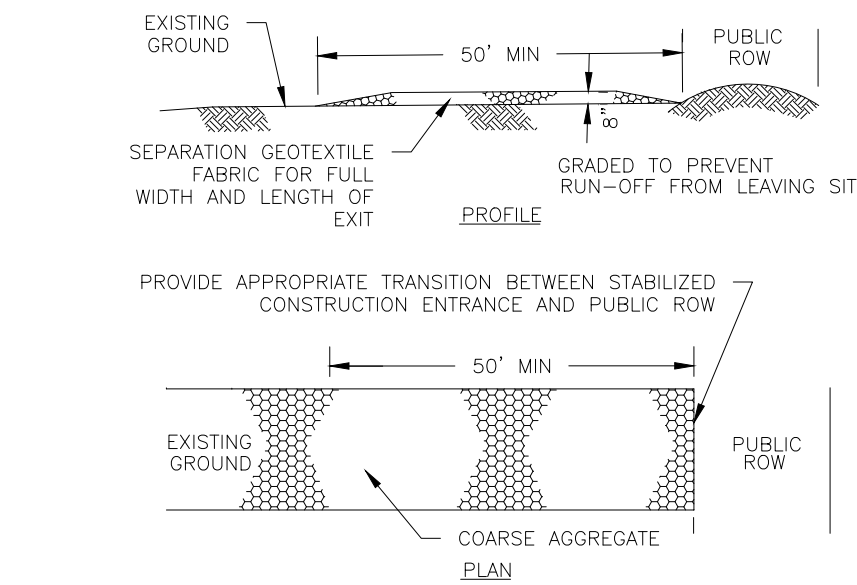
JONATHAN WHITE
127058
LICENSED PROFESSIONAL ENGINEER
09/15/2020

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



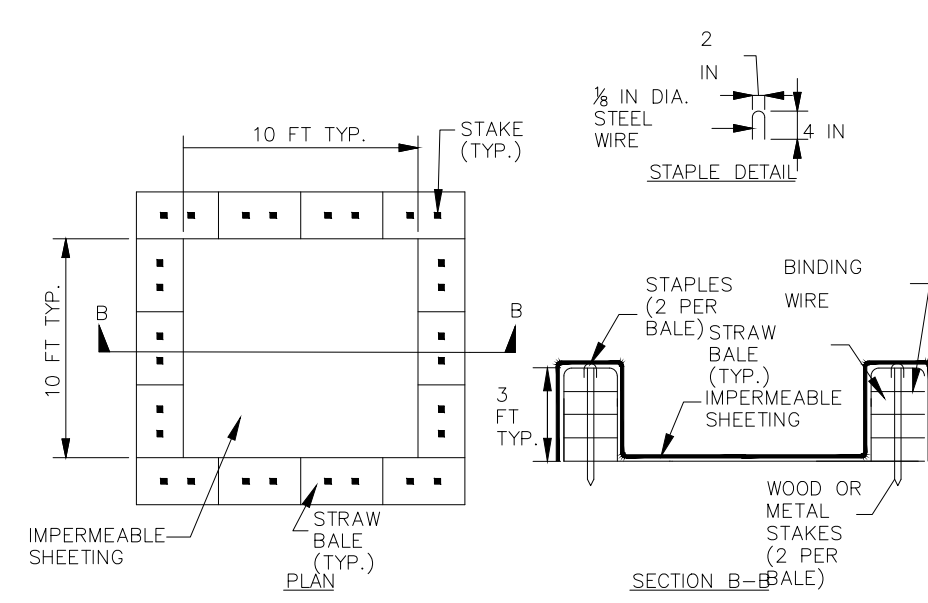
- NOTES:
1. STRAW BALE BARRIERS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 2. BALES SHALL CONSIST OF APPROXIMATELY 5 CF OF CERTIFIED WEEF FREE HAY OR STRAW AND WEIGH NOT LESS THAN 35 POUNDS.
 3. BALES ARE TO BE PLACED IN A SINGLE ROW WITH THE END OF THE BALES TIGHTLY ABUTTING ONE ANOTHER.
 4. EACH BALE IS TO BE SECURELY ANCHORED WITH AT LEAST TWO STAKES AND THE FIRST STAKE IS TO BE DRIVEN TOWARD THE PREVIOUSLY LAD BALE TO FORCE THE BALES TOGETHER.
 5. STAKES ARE TO BE A MINIMUM OF 42" LONG. METAL STAKES SHALL BE STANDARD 1" OR 1 1/2" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD STAKES SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2".
 6. BALES ARE TO BE BOUND WITH EITHER WIRE OR STRING AND ORIENTED SUCH THAT THE BINDINGS ARE AROUND THE SIDES AND NOT ALONG THE TOPS AND BOTTOMS OF THE BALE.
 7. GAPS BETWEEN BALES ARE TO BE CHINKED (FILLED BY WEDGING) WITH STRAW OR THE SAME MATERIAL AS THE BALE.
 8. END BALES ARE TO EXTEND UPSLOPE SO THE TRAPPED RUNOFF CANNOT FLOW AROUND THE ENDS OF THE BARRIER.
 9. CONTRACTOR SHALL INSPECT STRAW BALE BARRIERS IMMEDIATELY AFTER EACH RAINFALL AT LEAST ONLY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
 10. DAMAGED OR INEFFECTIVE BARRIERS SHALL PROMPTLY BE REPAIRED. UNTRENCHED BALES NEED TO BE REPAIRED WITH COMPACTED BACKFILL MATERIAL.
 11. SEDIMENT SHALL BE REMOVED FROM BEHIND STRAW BALE BARRIERS WHEN IT ACCUMULATES TO APPROXIMATELY 1/3 THE HEIGHT OF THE BARRIER.
 12. STRAW BALE BARRIERS SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED.

STRAW BALE BARRIER DETAIL
NTS



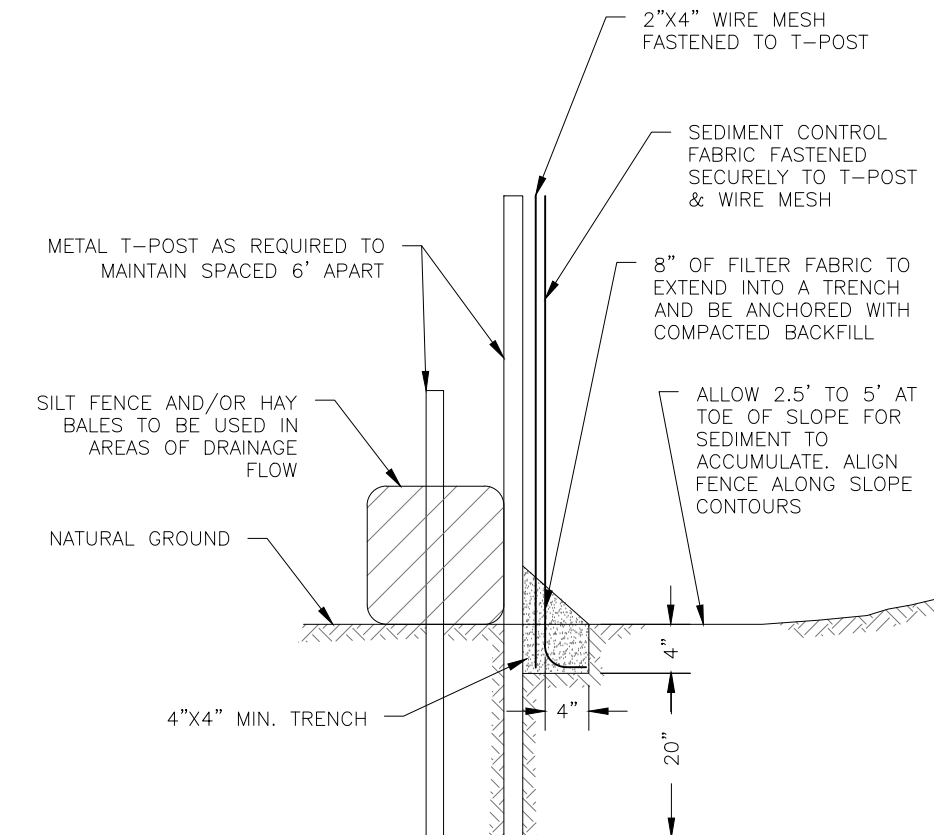
- NOTES:
1. LENGTH SHALL BE AS SHOWN ON THE CONSTR. DRAWINGS, BUT NOT LESS THAN 50 FEET.
 2. THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
 3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTR. EXIT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
 5. STABILIZED AREA MAY BE WIDENED/ LENGTHENED TO ACCOMMODATE A TRUCK WASHING AREA.
 6. AN OUTLET SEDIMENT TRAP MUST BE PROVIDED FOR THE TRUCK WASHING AREA.
 7. SEE STANDARD SPECIFICATION FOR STABILIZED CONSTRUCTION EXIT.
 8. STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED FREE OF SEDIMENT FOR THE DURATION OF THE PROJECT.

STABILIZED CONSTRUCTION EXIT DETAIL
NTS



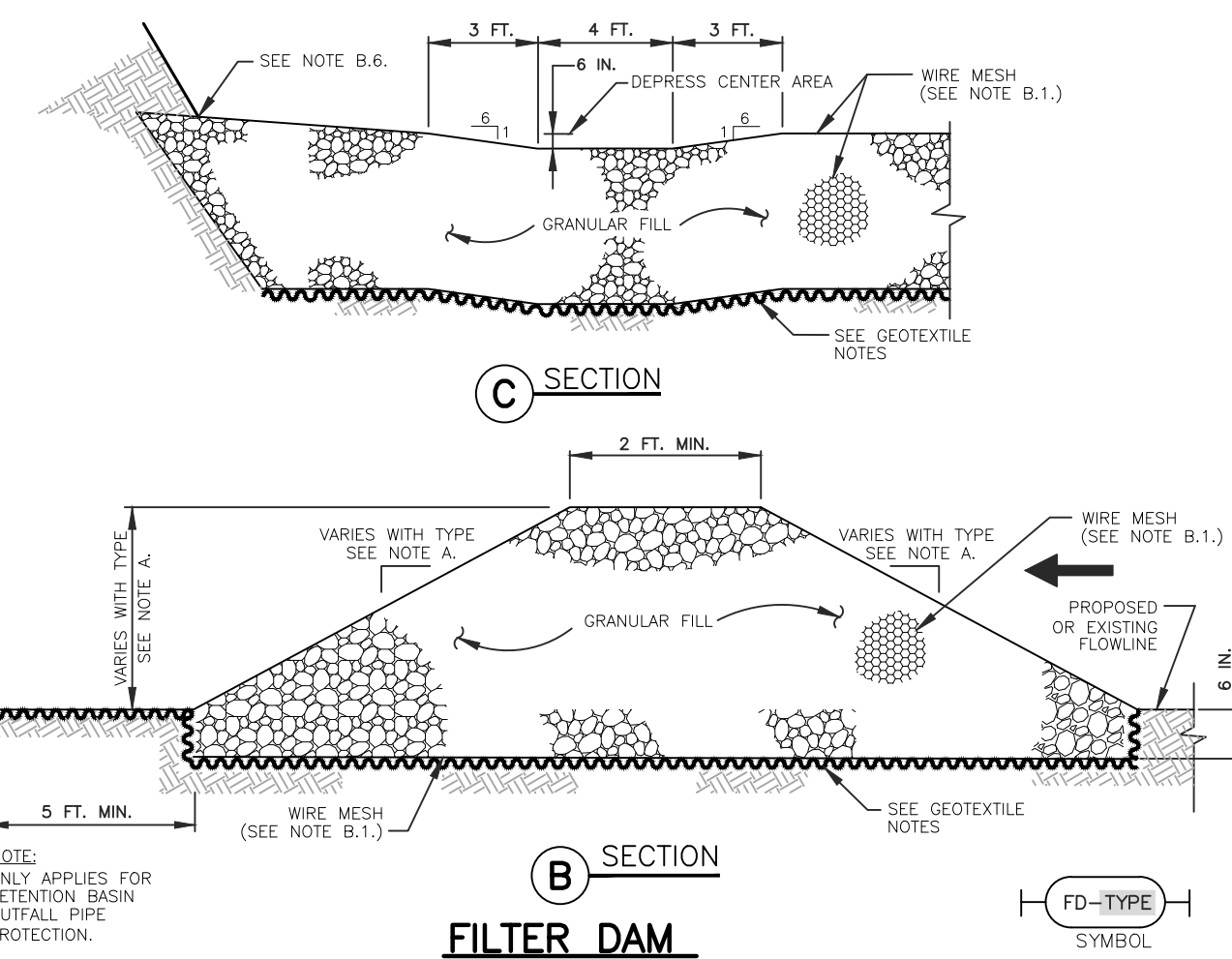
CONCRETE TRUCK WASHOUT DETAIL
NTS

- NOTES:
1. CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3" MINIMUM DEPTH.
 2. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
 3. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
 4. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
 5. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
 6. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G. RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

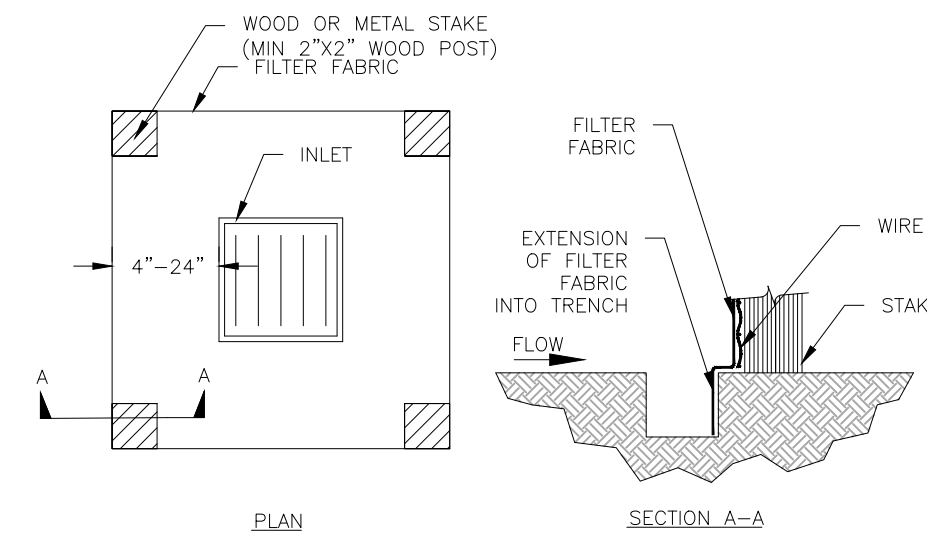


- NOTES:
1. WHERE LABELED "SILT CONTROL FENCE," HAY BALE MAY BE OMITTED.
 2. WHERE LABELED "HAY BALE BARRIER," THE ENTIRE SILT FENCE ASSEMBLY SHALL BE BUILT.

SILT FENCE ASSEMBLY
NTS

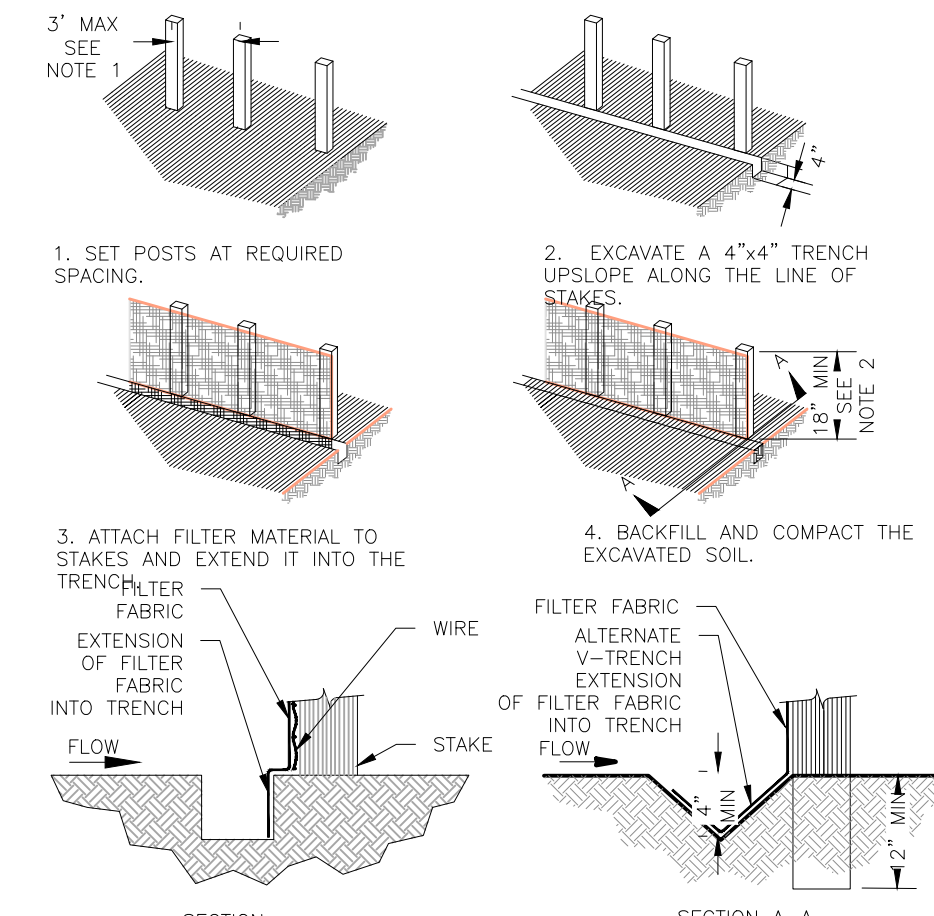


SECTION B
FILTER DAM



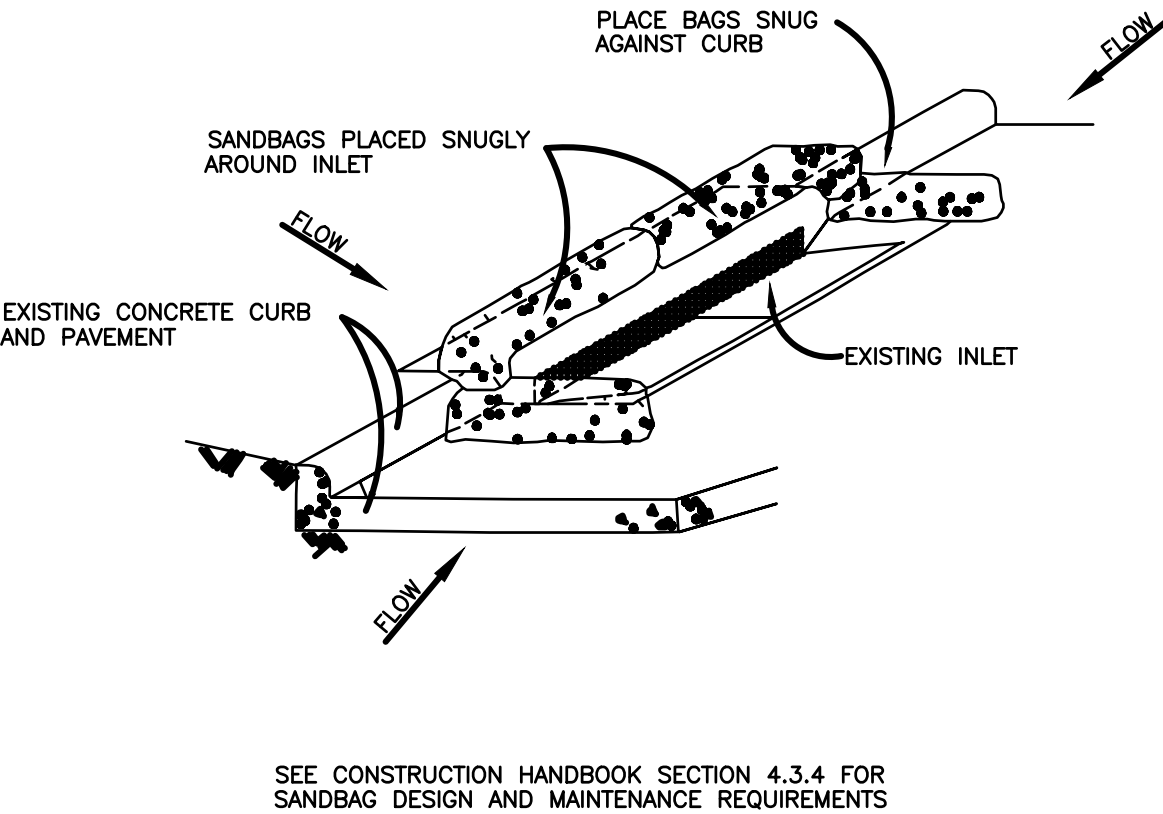
SILT FENCE INLET PROTECTION BARRIER
NTS

- NOTES:
1. SET 2 INCH BY 2 INCH WOODEN STAKES SPACED A MAX OF 6 FEET APART AND EMBEDDED A MIN OF 12 INCHES.
 2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH STAPLES.
 3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH TIES SPACED EVERY 24" AT TOP & MIDSECTION.
 4. MINIMUM HEIGHT OF FILTER SHOULD BE 18 INCHES AND A MAXIMUM OF 36 INCHES ABOVE NATURAL GROUND.
 5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 6" AT THE POSTS, & FOLDED.
 6. SEE STANDARD SPECIFICATION FOR FILTER FABRIC BARRIER.



FILTER FABRIC FENCE DETAIL
NTS

- NOTES:
1. 2" THICK BY 2" WOODEN STAKES TO BE SET AT 3' MAX SPACING & EMBEDDED MIN 8".
 2. IF PREASSEMBLED FENCE W/SUPPORT NETTING USED, SPACING OF POSTS MAY BE INCREASED TO 8'.
 3. ATTACH FILTER FABRIC TO WOODEN STAKES.
 4. FILTER FABRIC SHALL HAVE MIN HEIGHT OF 18" & MAX HEIGHT OF 36" ABOVE NAT. GRND.
 5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHOULD BE OVERLAPPED 6" AT THE POSTS, AND FOLDED.
 6. SEE STANDARD SPECIFICATION FOR FILTER FABRIC.



GENERAL NOTES:

1. BAGS OR WATTLES CAN BE USED FOR THIS APPLICATION.
2. PROVIDE WOVEN OR UNWOVEN GEOTEXTILE FILTER FABRIC FOR BAGS.
3. PROVIDE COARSE SAND AND AGGREGATE MIX FOR FILL MATERIAL FOR BAGS. USE ONLY PARTICLES CONSISTING OF CLEAN, HARD, DURABLE MATERIALS FREE FROM ADHERENT COATINGS, SALT, ALKALI, DIRT, CLAY, LOAM, SHALE, SOFT OR FLAKY MATERIALS, OR ORGANIC AND INJURIOUS MATTER.
4. REMOVE SEDIMENT DEPOSIT WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BARRIER.

INLET PROTECTION BARRIERS

FOR STAGE II INLETS

IPB

SYMBOL

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MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 4
TEMPORARY STORM WATER POLLUTION
PREVENTION PLAN DETAILS

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DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		15
1" = 50' (24x36)			
1" = 100' (11x17)			

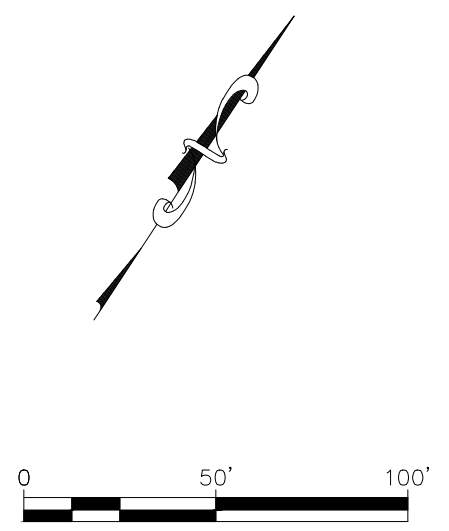
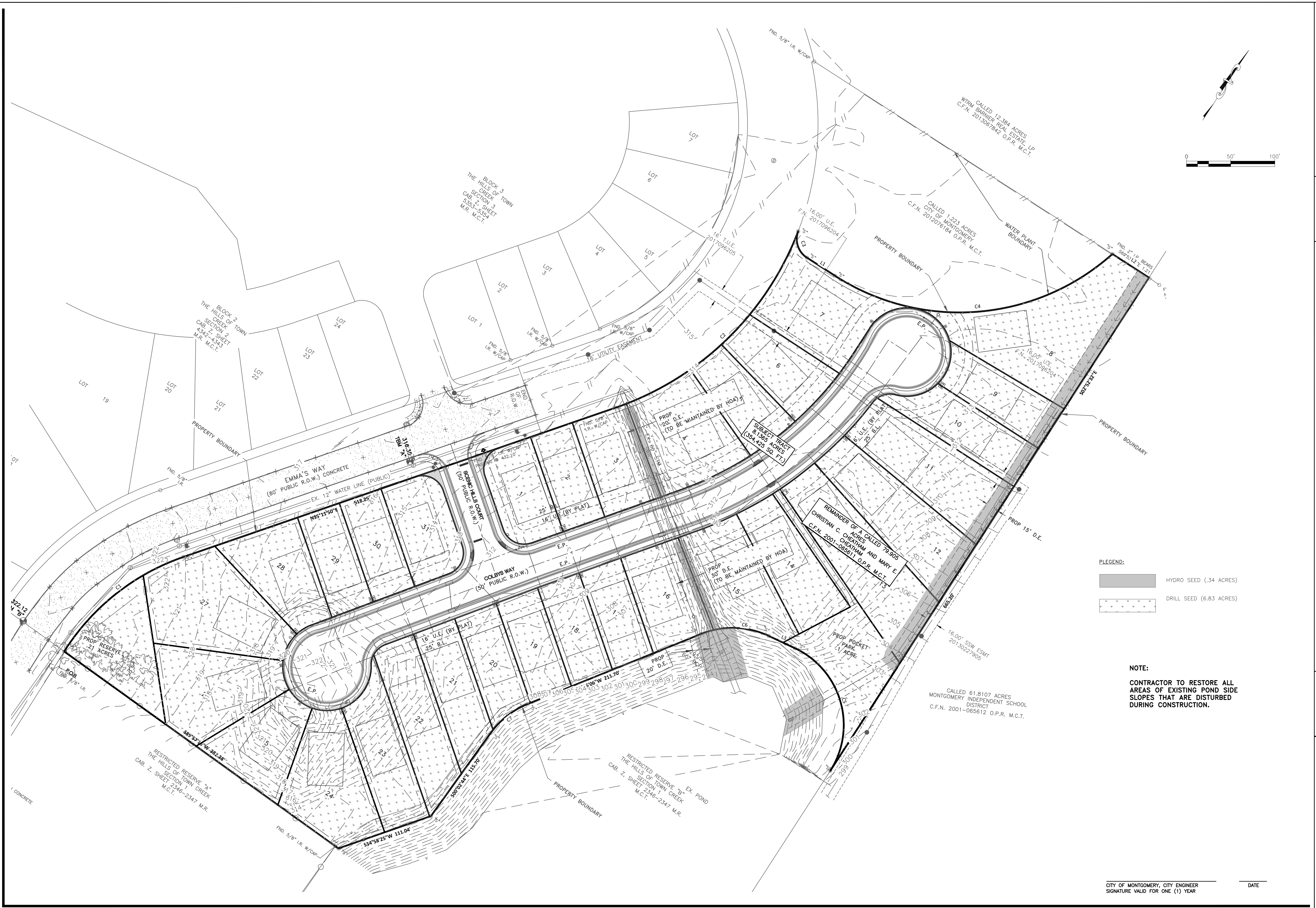
JONATHAN T. WHITE
127058
LICENSED PROFESSIONAL ENGINEER
09/15/2020

CITY OF MONTGOMERY, CITY ENGINEER
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HILLS OF TOWN CREEK SECTION 4 PERMANENT STORM WATER POLLUTION PLAN

LEGEND:
 HYDRO SEED (.34 ACRES)
 DRILL SEED (6.83 ACRES)

NOTE:
CONTRACTOR TO RESTORE ALL AREAS OF EXISTING POND SIDE SLOPES THAT ARE DISTURBED DURING CONSTRUCTION.

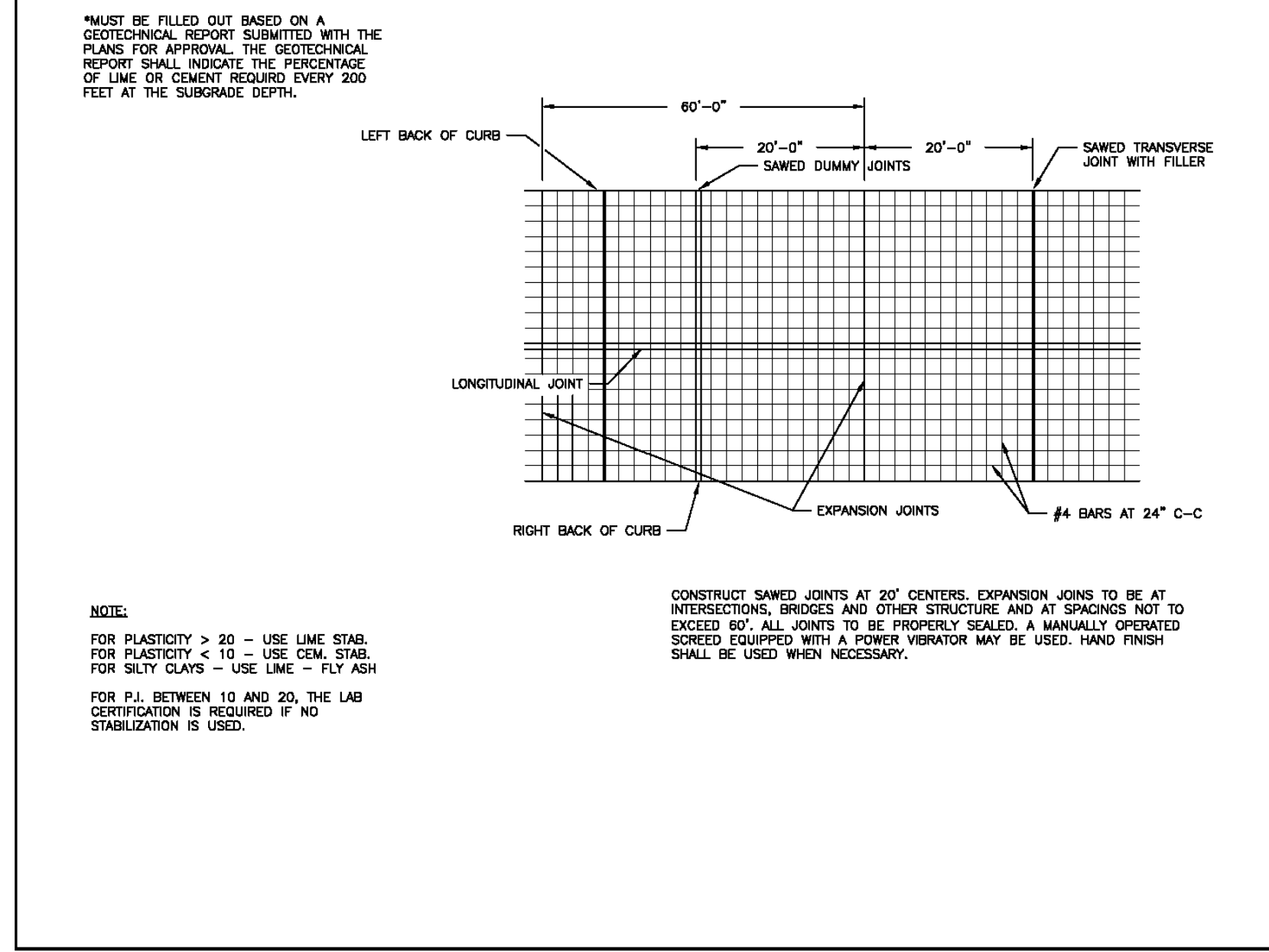
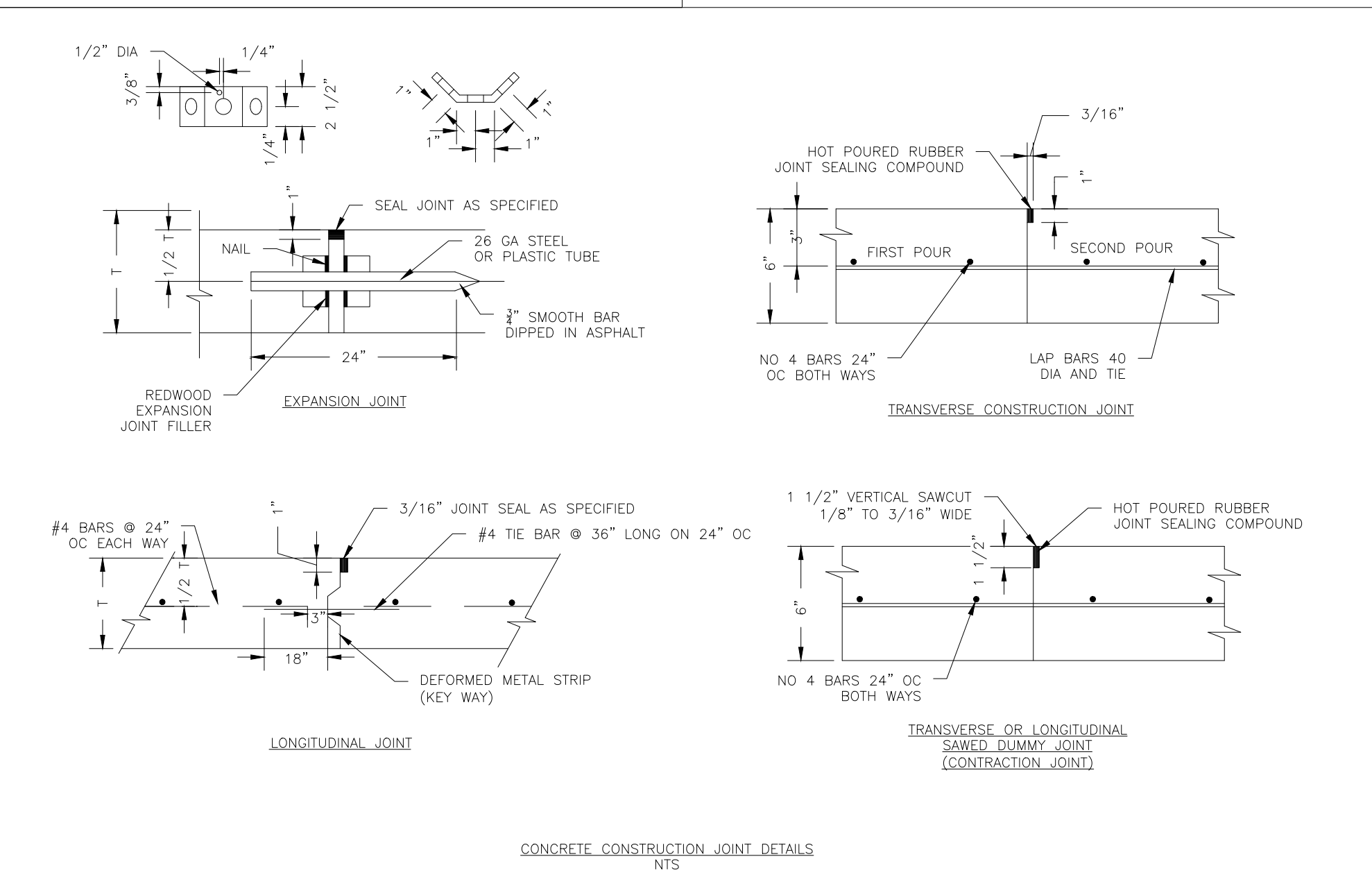
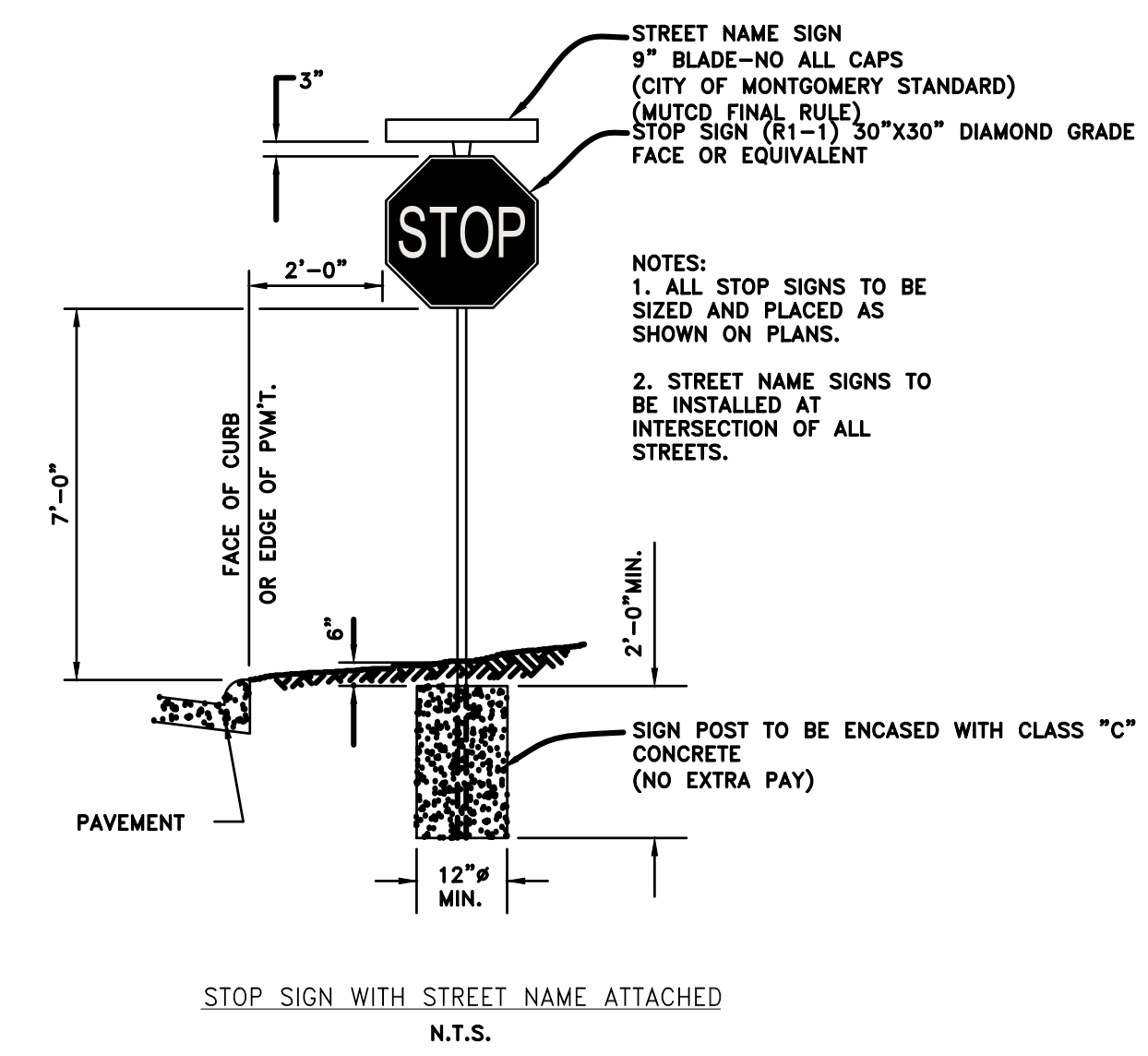
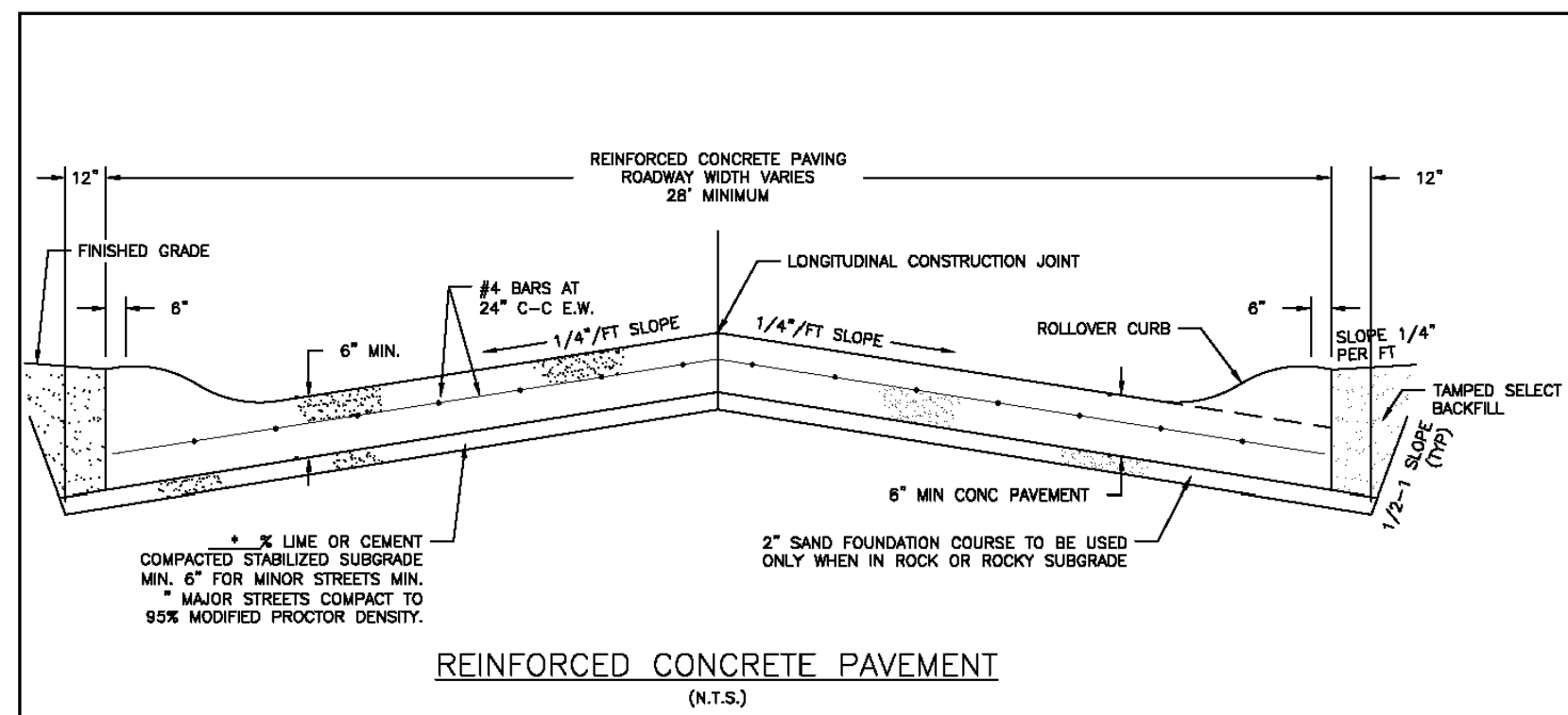
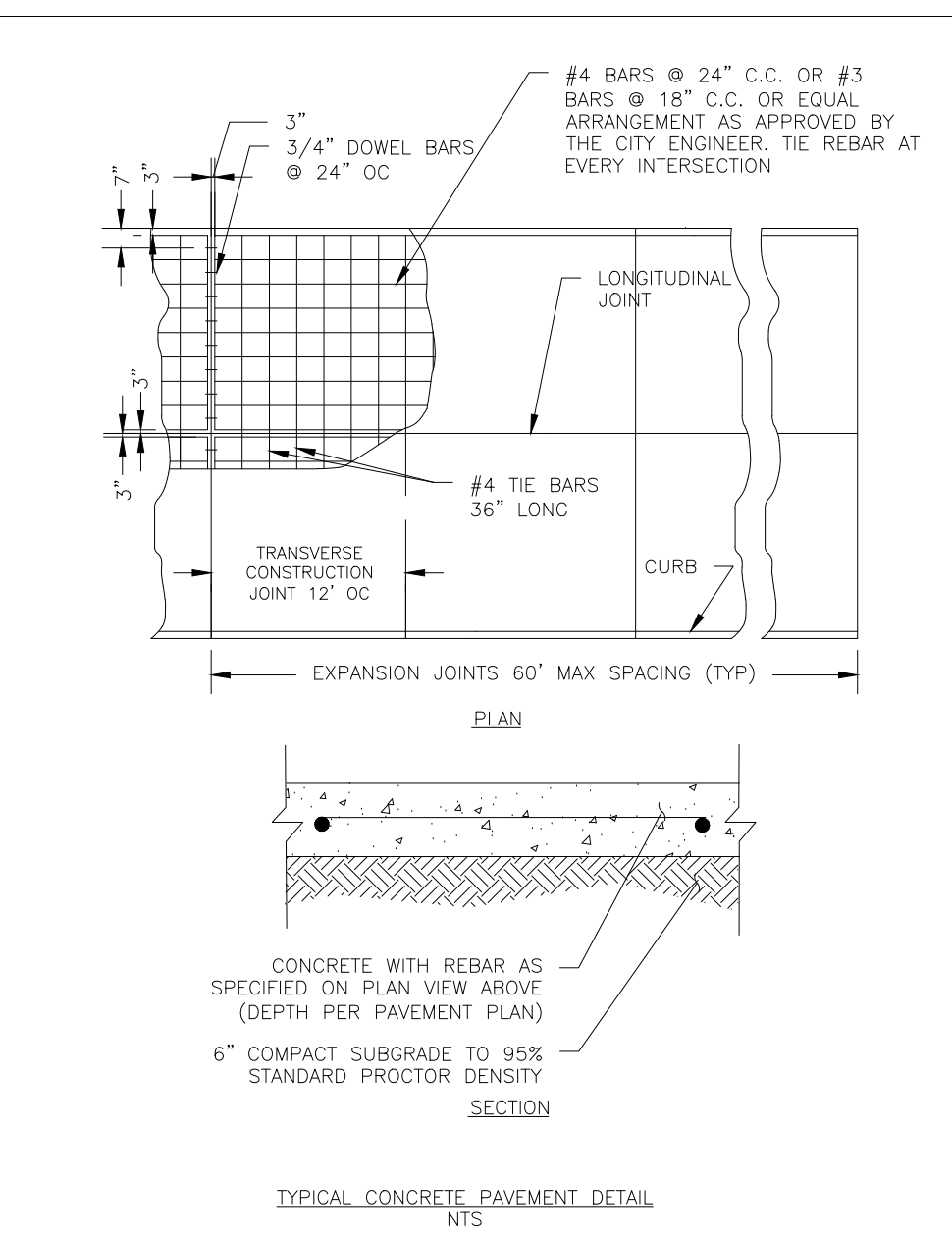
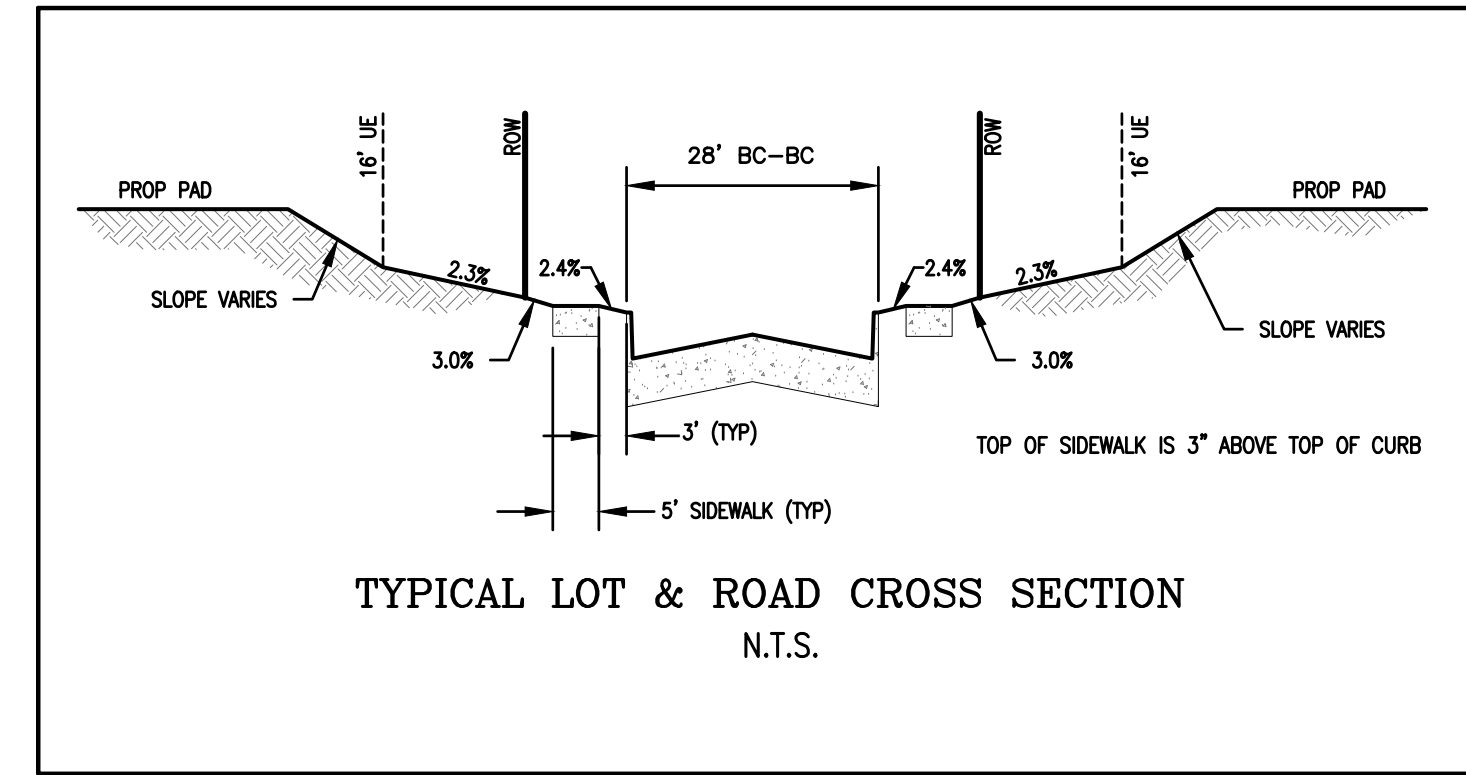
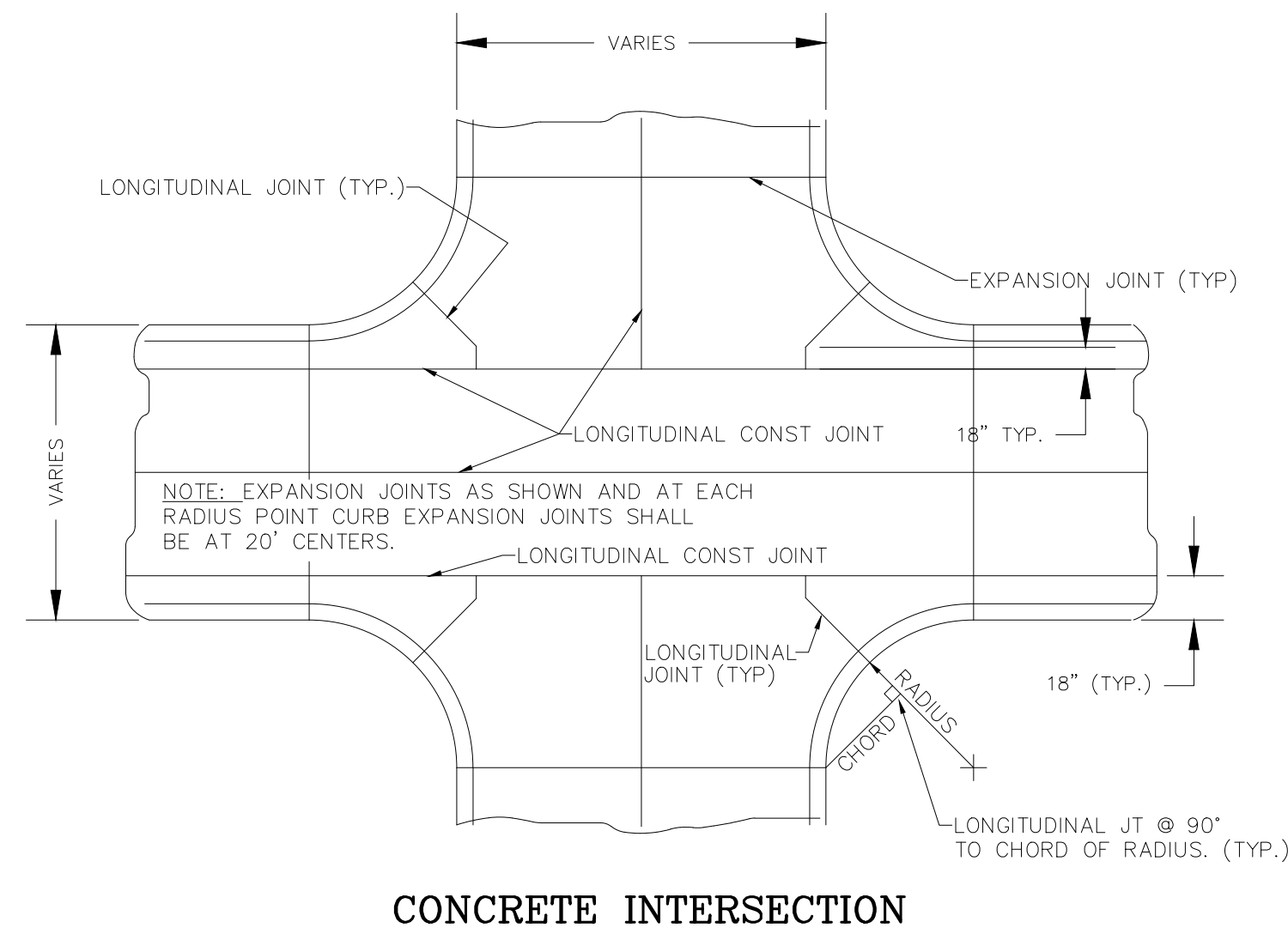
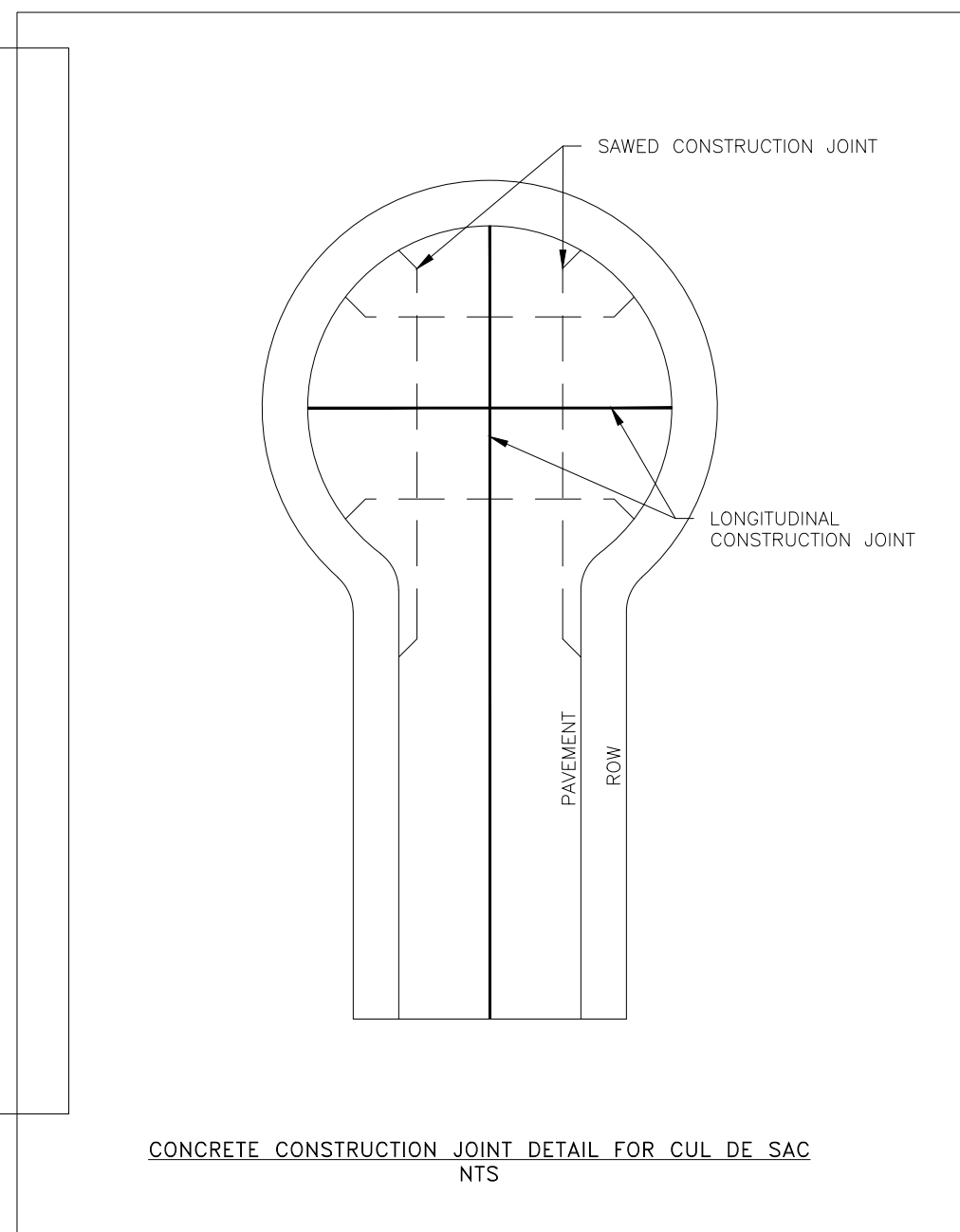
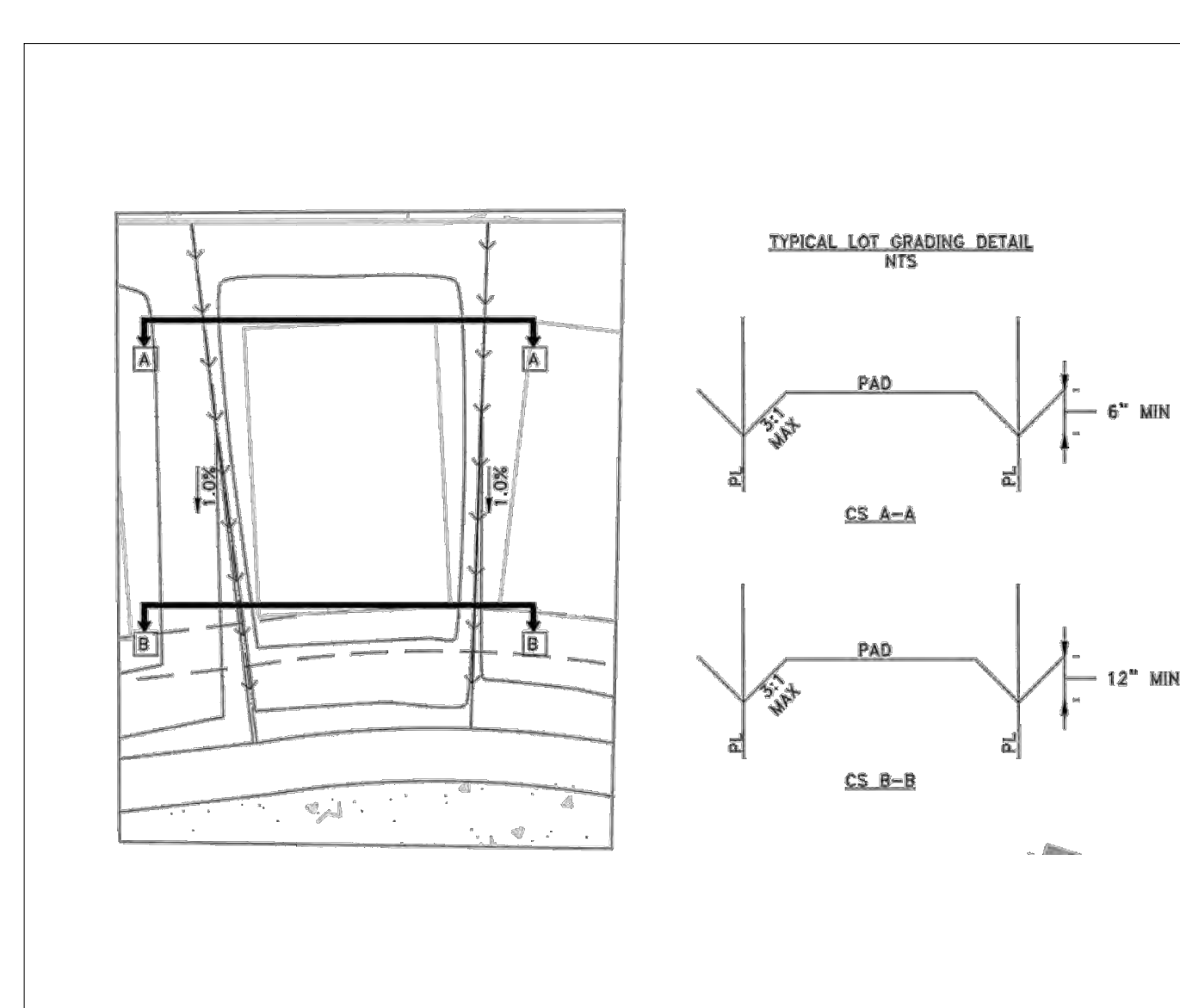
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DRAWING INFORMATION			
PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	SHEET		16
1" = 50' (24x36)	1" = 100' (11x17)		

STATE OF TEXAS
JONATHAN T. WHITE
127058
LICENSED PROFESSIONAL ENGINEER
09/15/2020

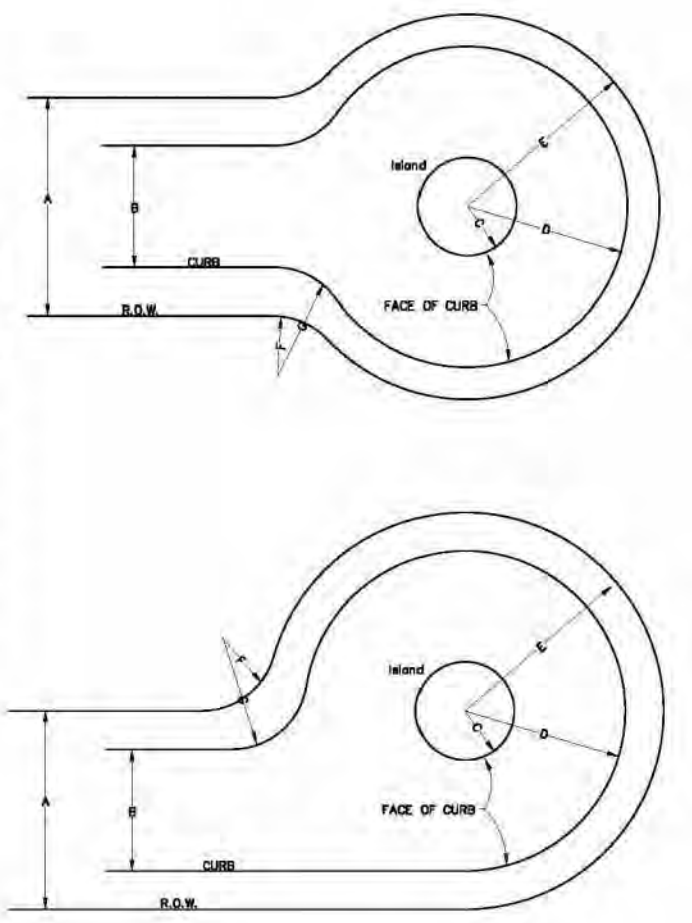
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	ABUTTING LAND USE	
	SINGLE FAMILY	ALL OTHER
A	50'	60'
B	28'	40'
C (MIN)	0	0
C (MAX)	20'	15'
D	40'	50'
E	50'	60'
F	28'	28'
G	35'	35'

ALL DIMENSIONS MEASURED IN FEET TO FACE OF CURB



10-2013	REVISED NOTES	PAVING
CITY OF MONTGOMERY TYPICAL RESIDENTIAL CONCRETE PAVING WITH ROLL-OVER CURB		P-2

REVISIONS

CITY OF CONROE
CUL-DE-SAC DESIGN
FOR STREET TERMINATION

DWG. NO. 1203
P-20

CITY OF MONTGOMERY, CITY ENGINEER
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HILLS OF TOWN CREEK
SECTION 4
PAVING DETAILS 1 OF 2

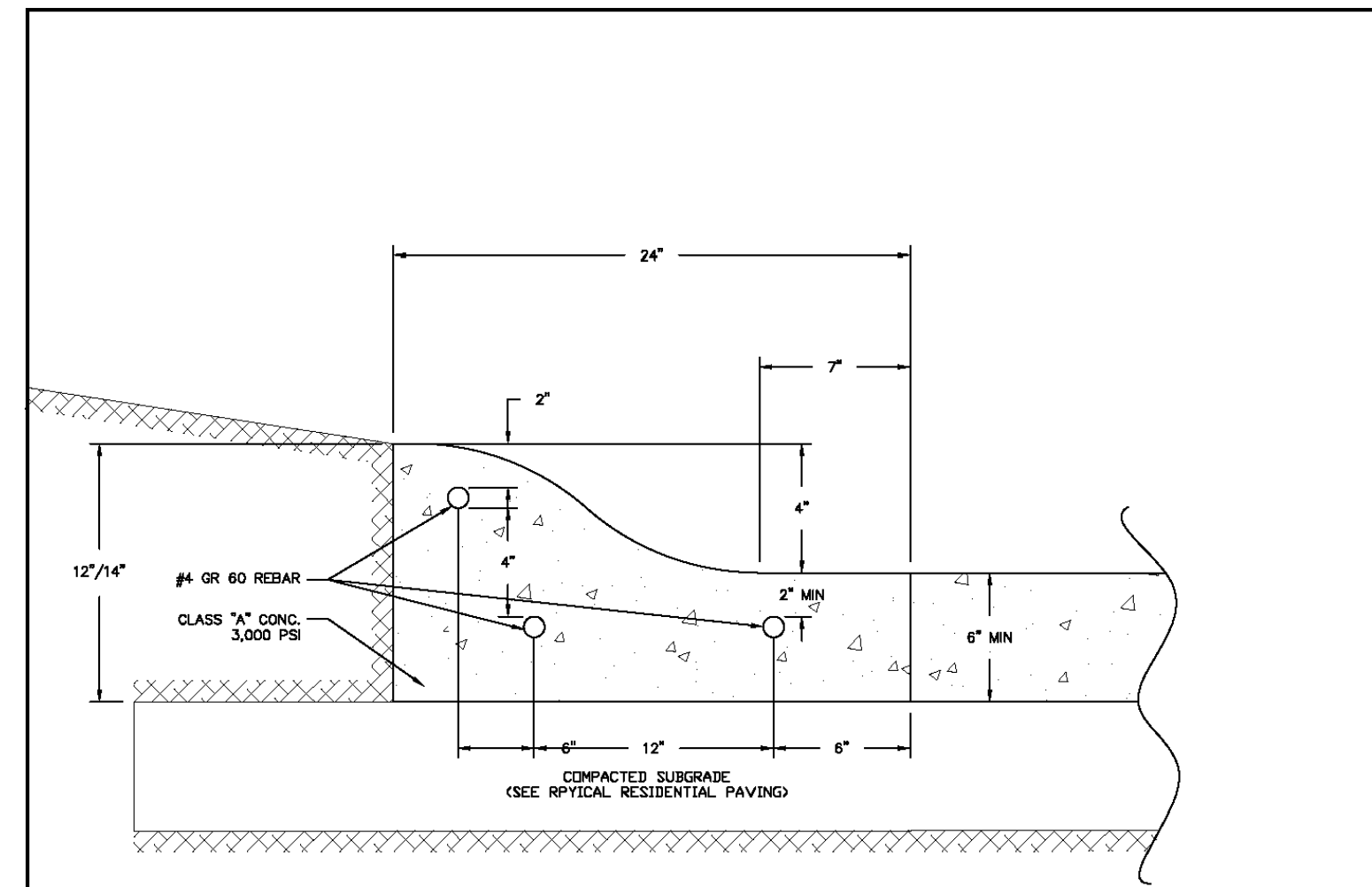
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PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	AS NOTED	SHEET	17

127058
JONATHAN T. WHITE
PROFESSIONAL ENGINEER
09/15/2020

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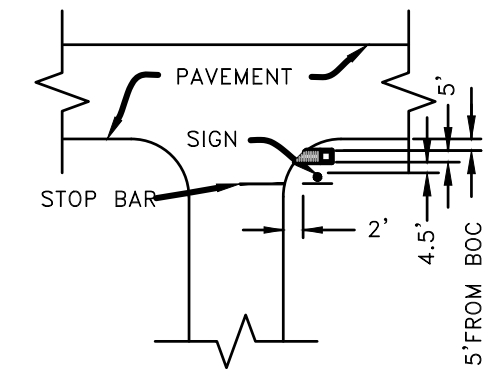


- NOTES:**
- ALL HONEYCOMBING SHALL BE GROUTED TO PROVIDE A UNIFORM SURFACE.
 - WHEN HONEYCOMBING IS EXCESSIVE AS DETERMINED BY THE INSPECTOR, CURB AND GUTTER SHALL BE REPLACED.
 - BACKFILL BEHIND CURBS SHALL BE ACCOMPLISHED WITHIN 7 DAYS.
 - CURB AND GUTTER CONCRETE SHALL BE CLASS "A" (3000 PSI), CURB POURED WITH PAVEMENT. SHALL MATCH PAVEMENT.
 - REINFORCING STEEL AS SHOWN.
 - EXPANSION JOINTS AT A MAXIMUM LENGTH OF 60 FEET.
 - SAWED CONTRACTION JOINTS EVERY 20 FEET BETWEEN EXPANSION JOINTS.
 - ALL JOINTS ARE TO BE PROPERLY SEALED.

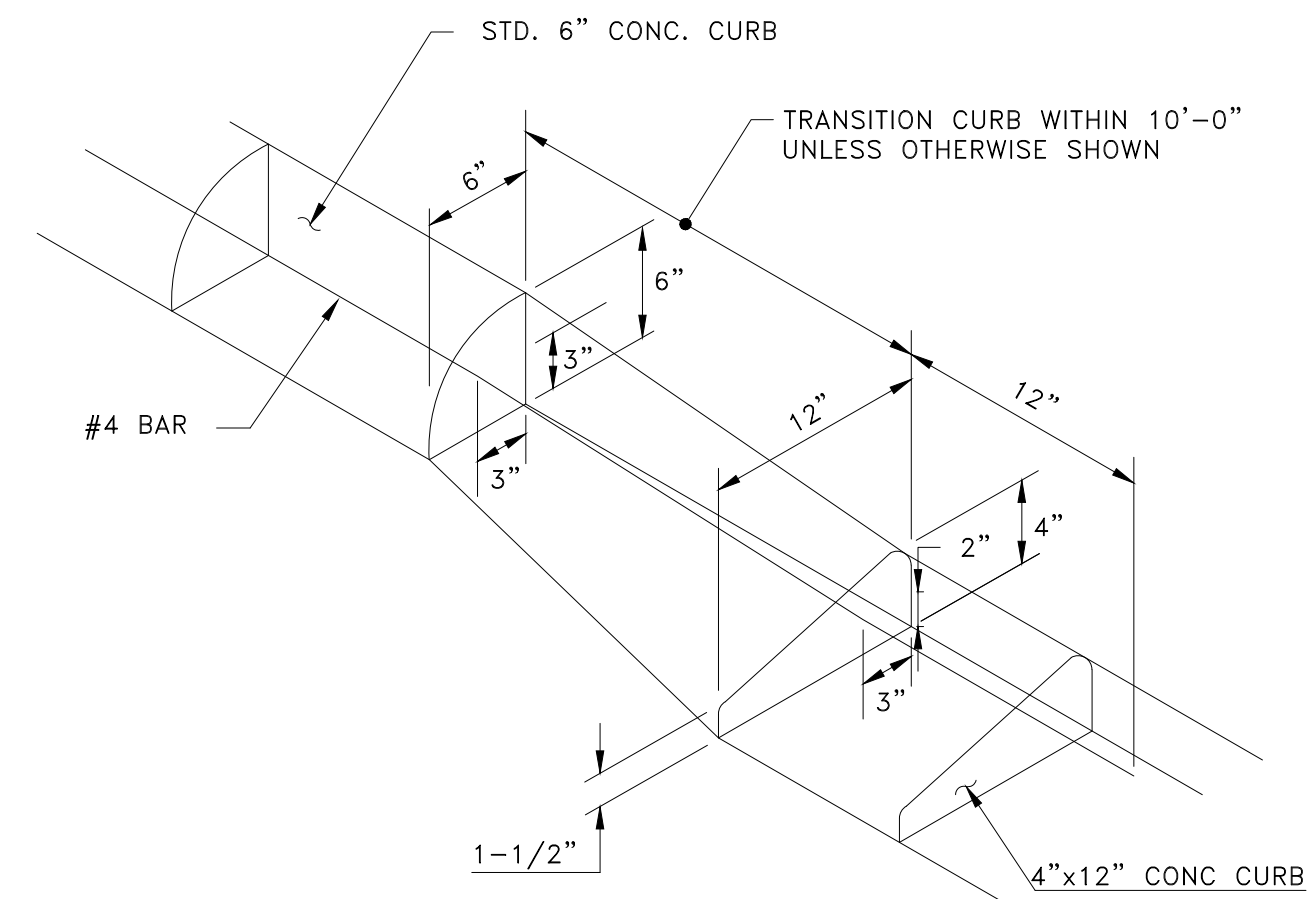
REVISIONS
10-2013 REVISED NOTES

CITY OF MONTGOMERY
ROLLOVER CURB & GUTTER

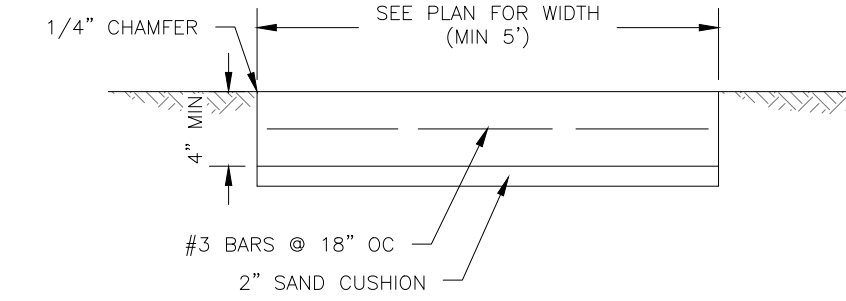
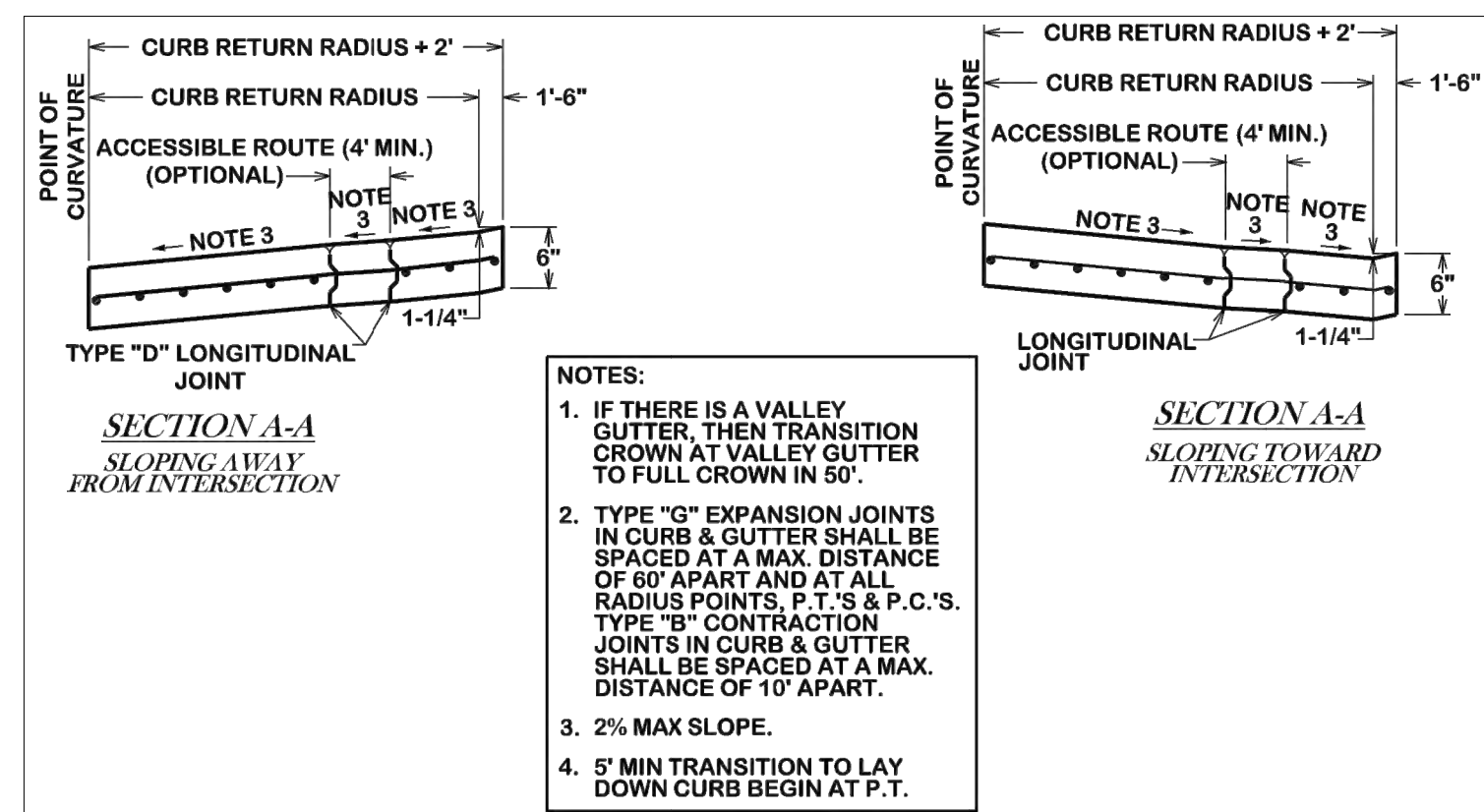
PAVING
P-5



SIGN LOCATION
N.T.S.

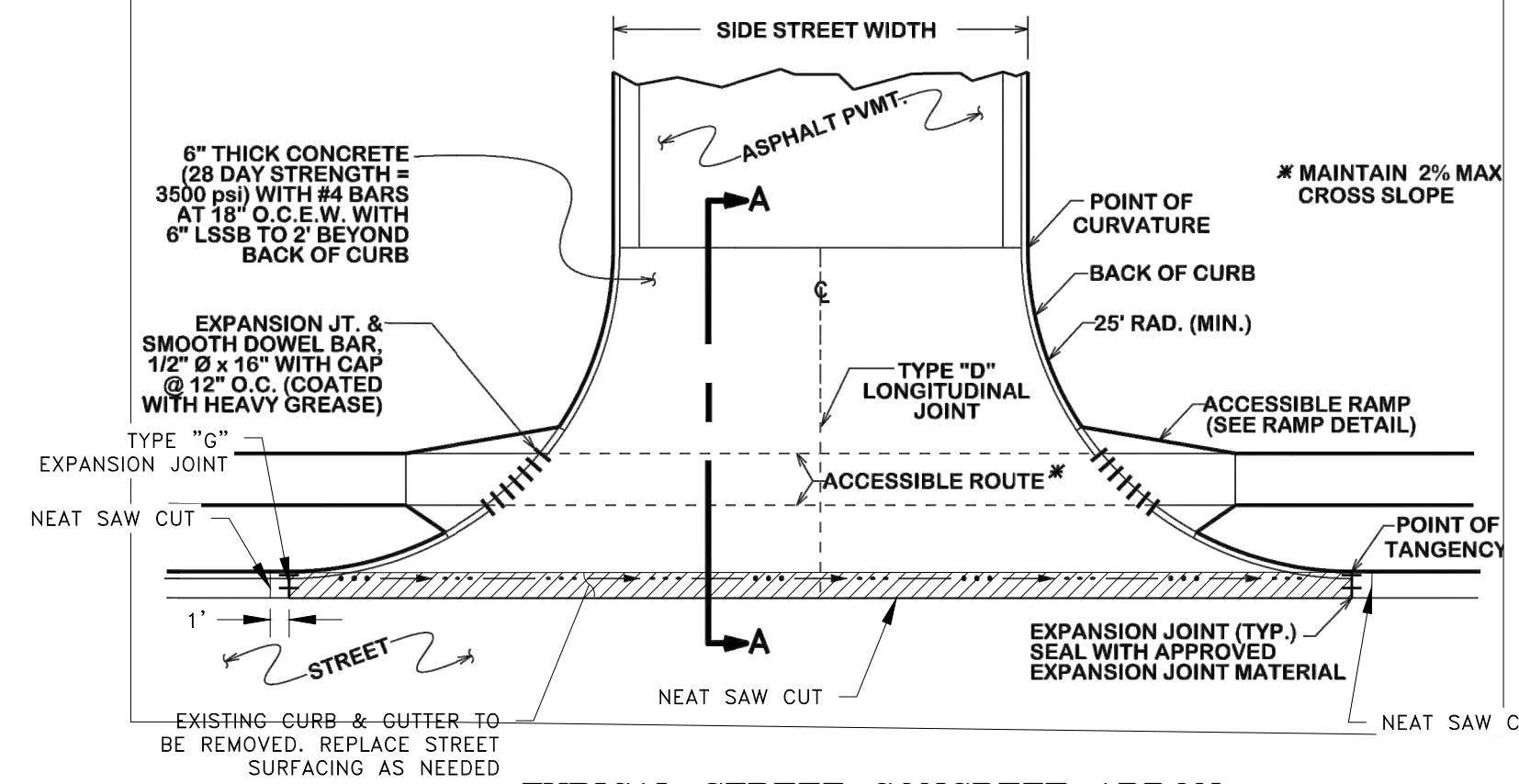


TYPICAL CURB TRANSITION
N.T.S.

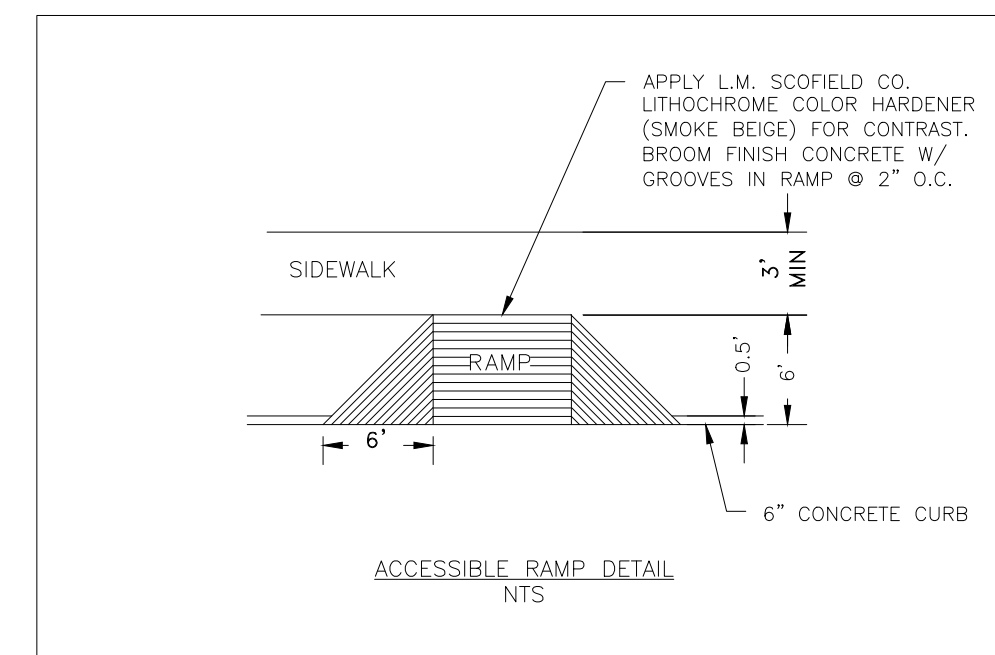


- NOTES:**
- SIDEWALKS SHALL NOT EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE.
 - CONCRETE IS 3000 PSI OR EQUIVALENT TO SPECIFICATIONS.
 - SIDEWALKS TO BE MIN. OF 3' FROM BACK OF CURB.

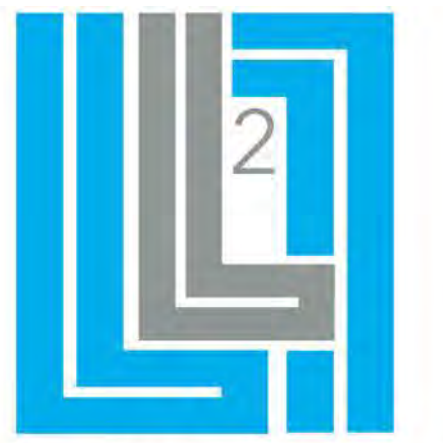
TYPICAL SIDEWALK DETAIL
N.T.S.



TYPICAL STREET CONCRETE APRON
N.T.S.



ACCESSIBLE RAMP DETAIL
N.T.S.



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HILLS OF TOWN CREEK
SECTION 4
PAVING DETAILS 2 OF 2

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DRAWN	MCV	CHECKED	JTW
SCALE	AS NOTED	SHEET	18

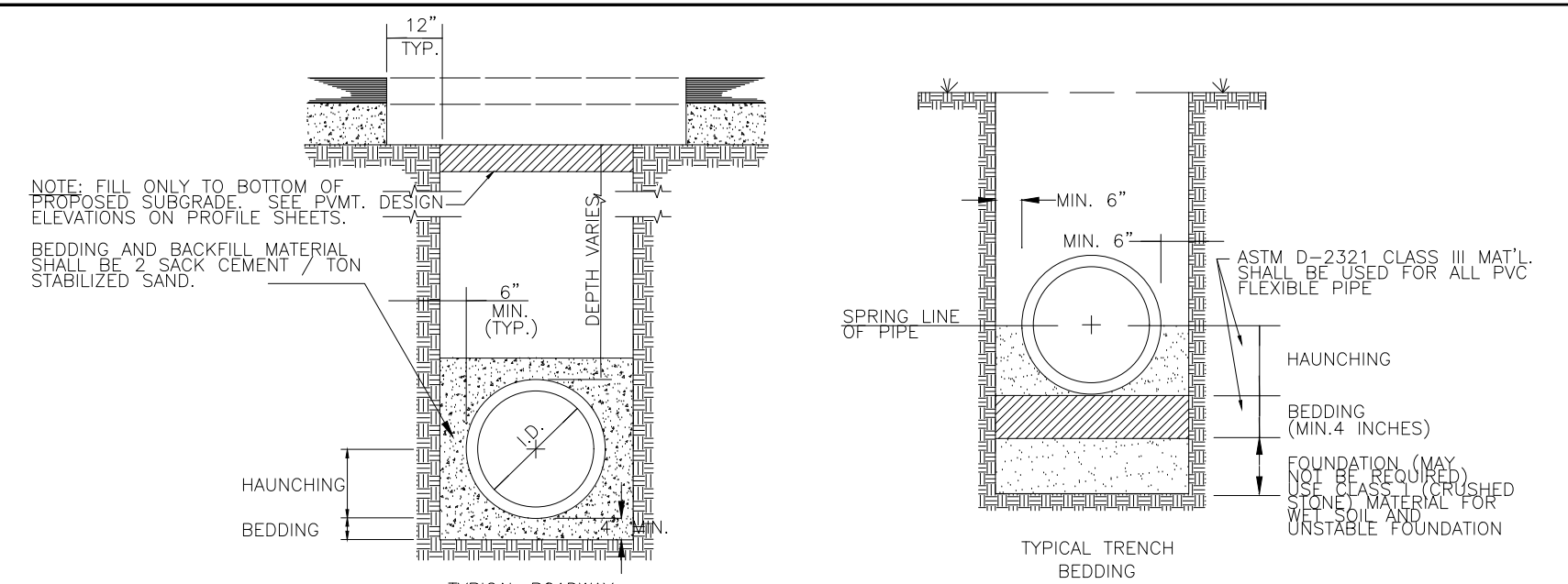


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Typical Roadway Trench Bedding
 NOTE: FILL ONLY TO BOTTOM OF ELEVATIONS ON PROFILE SHEETS. BEDDING AND BACKFILL MATERIAL SHALL BE 2" SAND CEMENT STABILIZED SAND.
 HAUNCHING
 BEDDING
 TYPICAL ROADWAY TRENCH BEDDING

Typical Trench Bedding
 MIN. 6"
 HAUNCHING
 FOUNDATION (MAY NOT BE USED FOR UNSTABLE FOUNDATION)
 TYPICAL TRENCH BEDDING

Foundation
 A foundation is required when the trench bottom is unstable. Any foundation that will support a rigid pipe without causing loss of grade or flexural breaking will be more than adequate for PVC pipe.

Bedding
 The bedding directly underneath the pipe is required only to bring the trench bottom up to grade. It should not be so thick or soft that the pipe will settle and lose grade. The purpose of the bedding is to provide a firm, stable and uniform support of the pipe. A layer of material sufficient to establish line, grade, and support should be placed. Bell holes should be excavated to insure uniform bearing.

Haunching
 The haunching area is the most important in terms of limiting the deflection of a flexible pipe. This is the area that should be compacted to the required or specific density.

Class I
 ASTM D 2321
 Description of embedment materials
 Class I
 Angular, 1/4" to 1 1/2" graded stone, including a number of fill materials that have regional significance, such as coral, slag, cinders, crushed stone and crushed shells.

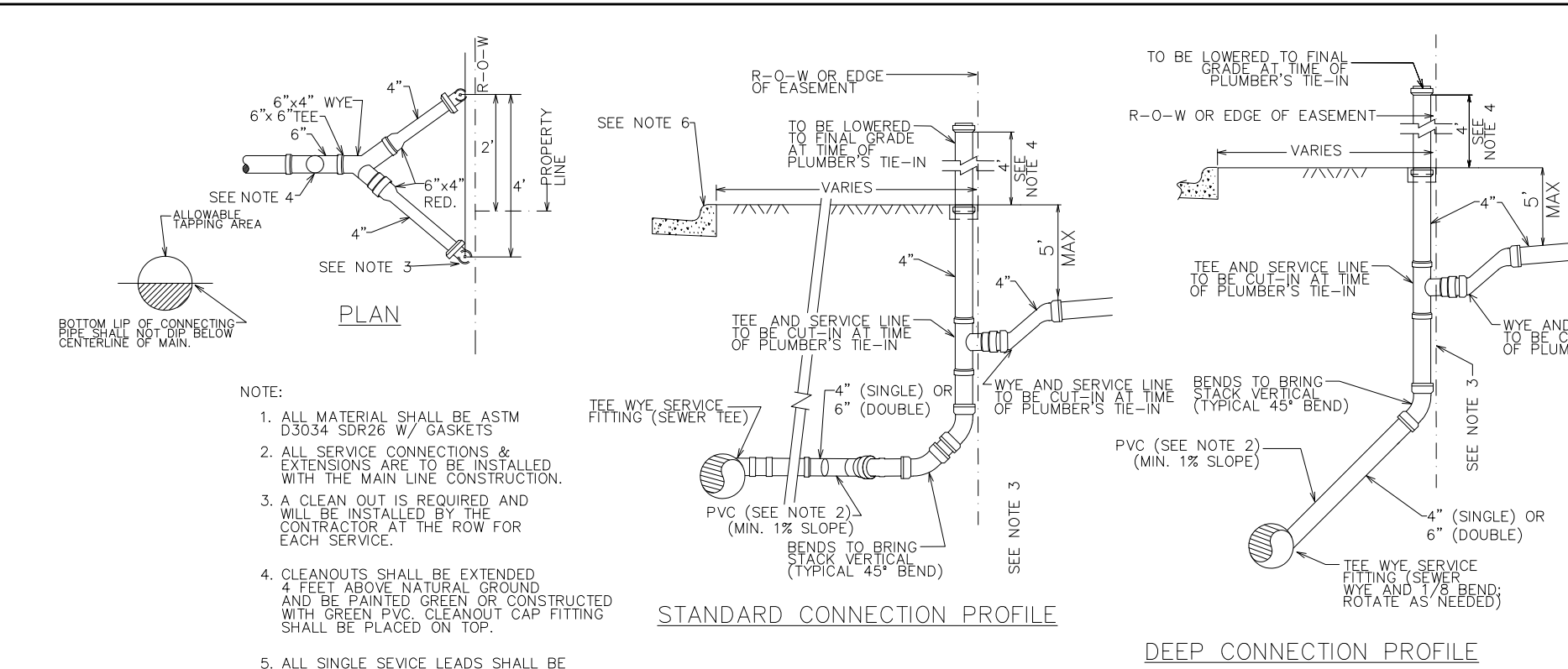
Class II
 Coarse sands and gravels with maximum particle size of 1 1/2", including variously graded sands and gravels containing small percentages of fines, generally granular and noncohesive, either wet or dry. Soil Types GM, GP, SW and SP are included in this class.

Class III
 Fine sand and clayey gravels including fine sands, sand-clay mixtures, and gravel-clay mixtures. Soil Types GM, GC, SM, and SC are included in this class.

Class IV
 Silt, silty clays, and clays, including inorganic clays and silts of medium to high plasticity and liquid limits. Soil Types MH, ML, CH and CL are included in this class.

Class V
 This class includes the organic soils OL, OH, and PT as well as soils containing frozen earth, debris, rocks larger than 1 1/2" in diameter, and other foreign materials. These materials are not recommended for bedding, haunching, or initial backfill.

NOTE: BACKFILL ABOVE THE BEDDING SHALL CONFORM TO "TYPICAL WATERLINE BACKFILL AND TRENCH REPAIR" STANDARD DRAWING W-5.

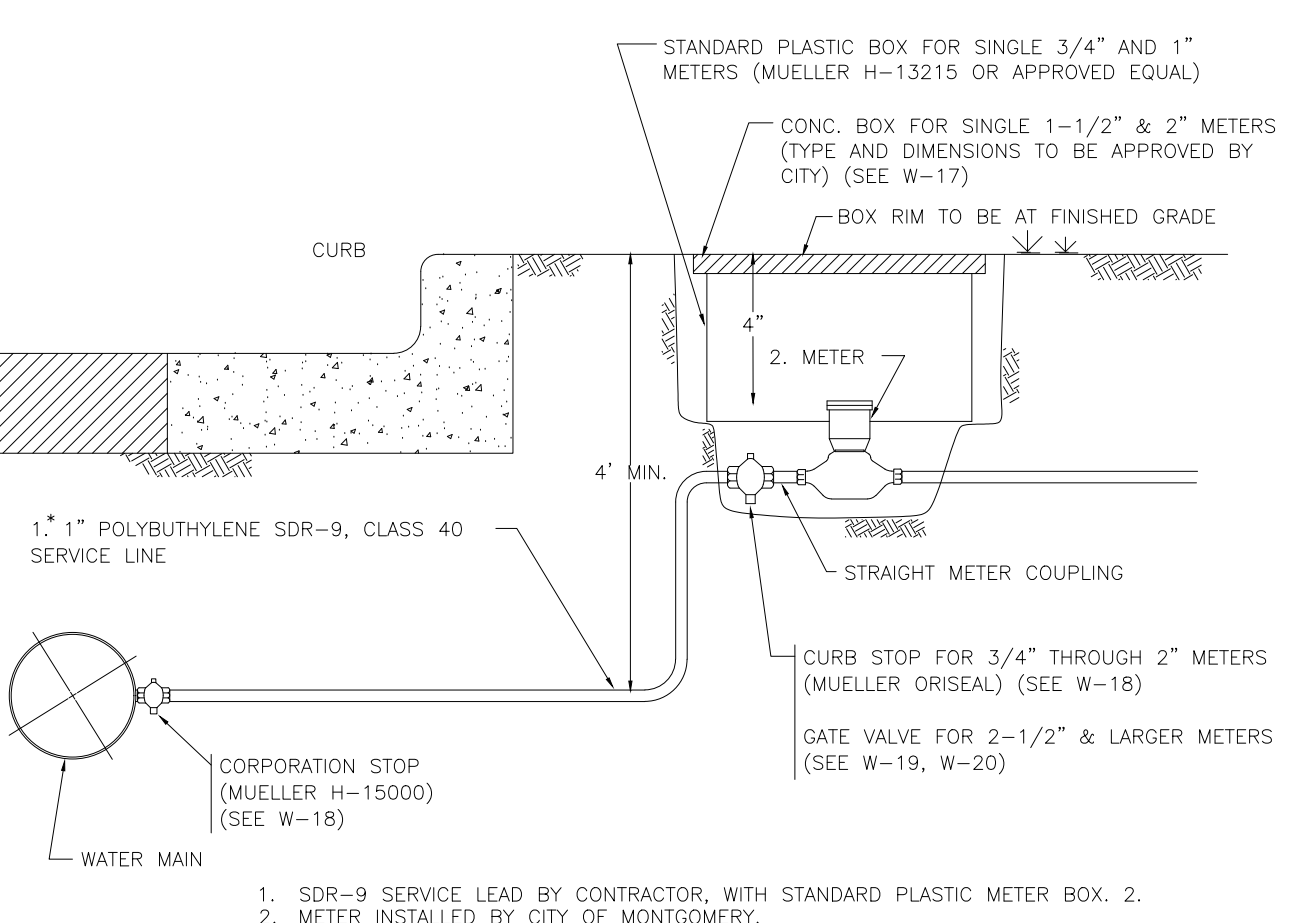


SANITARY SEWER SERVICE CONNECTION

Standard Connection Profile
 TO BE LOWERED TO FINAL GRADE LINE OR TO BE LOWERED TO FINISH GRADE LINE OF PLUMBER'S FILE-IN

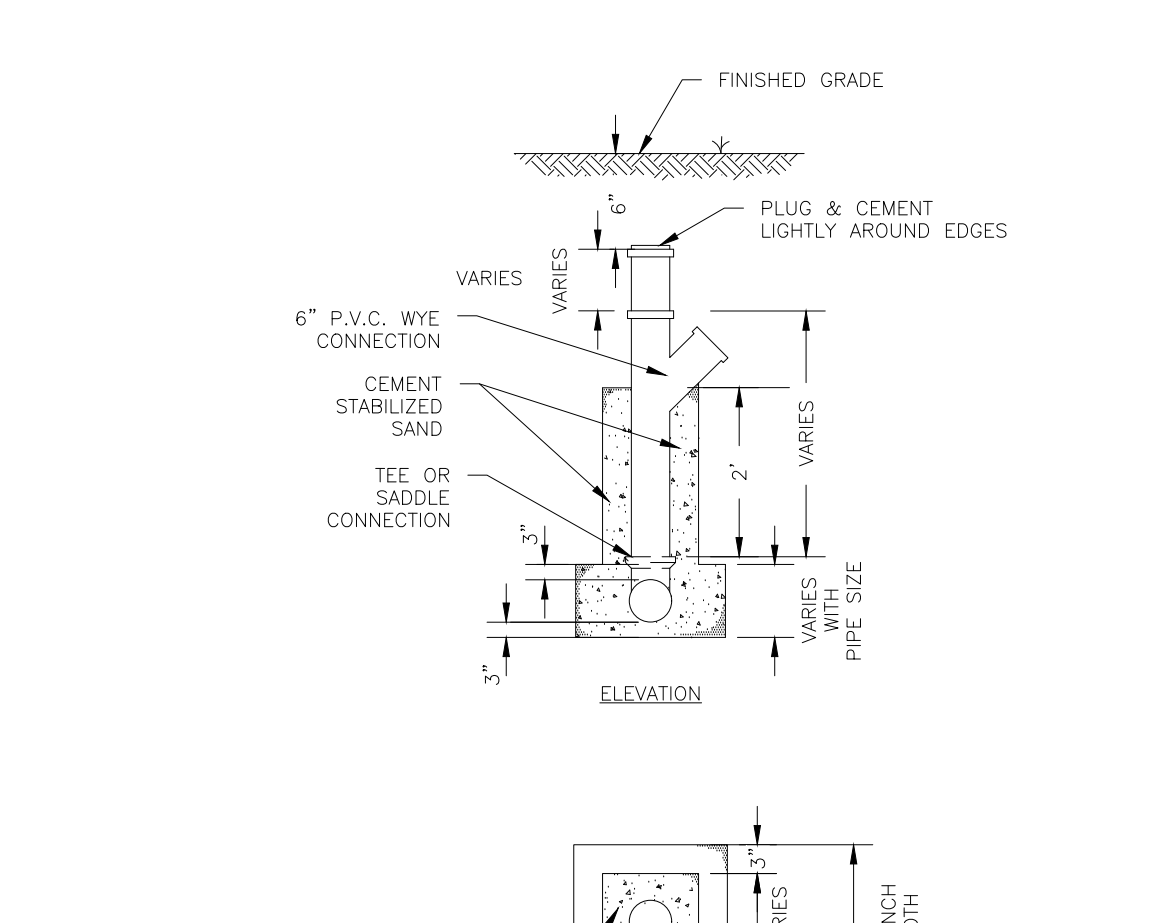
Deep Connection Profile
 TO BE LOWERED TO FINAL GRADE LINE OR TO BE LOWERED TO FINISH GRADE LINE OF PLUMBER'S FILE-IN

Notes:
 1. ALL MATERIAL SHALL BE ASTM D3034 SDR26 W/ GASKETS & EXTENSIONS ARE TO BE INSTALLED WITH THE MAIN LINE CONSTRUCTION.
 2. A CLEAN OUT IS REQUIRED AND CONTRACTOR AT THE ROW FOR EACH SERVICE.
 3. CLEAN OUTS SHALL BE EXTENDED TO DEEPER NATURAL GROUND AND BE PRINTED GREEN OR CONSTRUCTED WITH GREEN PVC. CLEANOUT CAP FITTING SHALL BE PLACED ON TOP.
 4. ALL SERVICE LEADS SHALL BE 4" UNLESS OTHERWISE NOTED ON THE PLAN. ALL DOUBLE SERVICE LEADS SHALL BE 6" UNLESS OTHERWISE NOTED ON THE PLAN.
 5. AN "S" MUST BE MARKED BY BEING STAMPED ON THE FACE OF CURB AND OUTER AT EACH TAP LOCATION IN ADDITION TO A 2" GREEN PVC MARKER BEING PLACED AT THE END OF THE SERVICE CONNECTION AND EXTENDING 4' ABOVE NG.

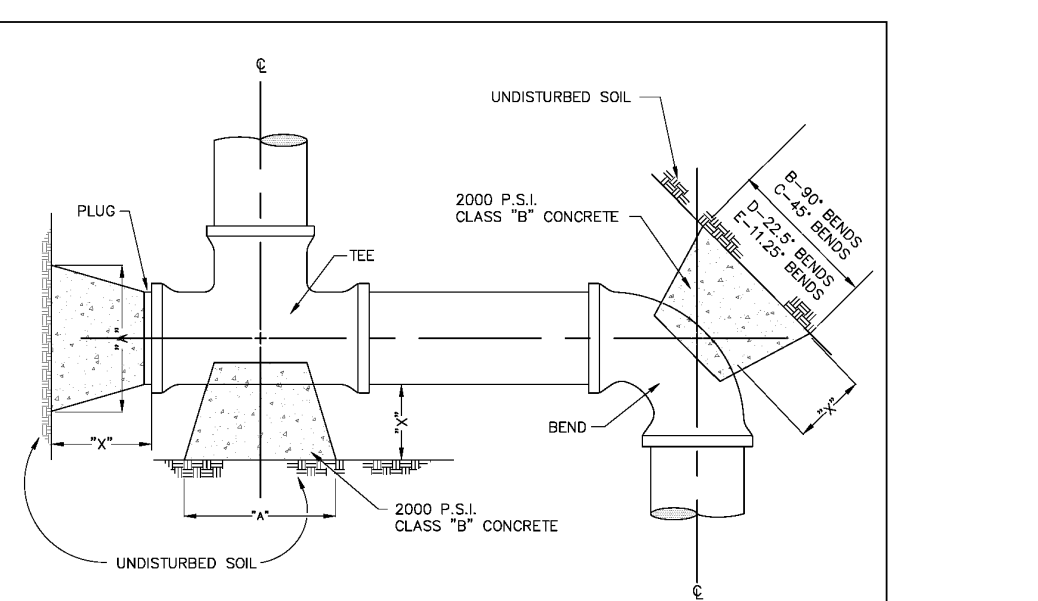


TYPICAL WATER SERVICE CONNECTION DETAIL
 NTS

1. SDR-9 SERVICE LEAD BY CONTRACTOR, WITH STANDARD PLASTIC METER BOX. 2. METER INSTALLED BY CITY OF MONTGOMERY.



SANITARY SEWER STACK DETAIL
 NTS

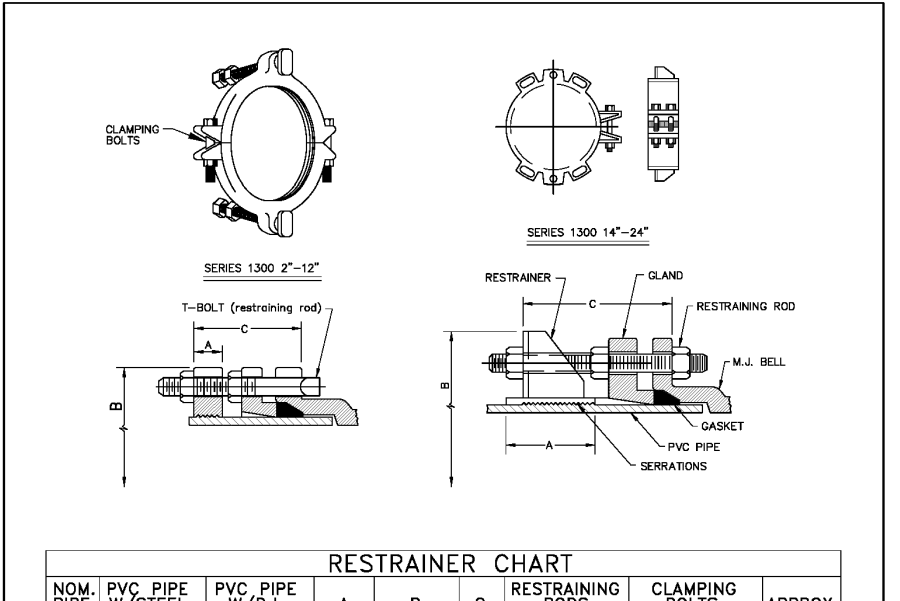


HORIZONTAL BLOCKING TABLE

Dimension 'X' to be a minimum of (1) foot, but to be increased where necessary to provide bearing against undisturbed trench wall.

PIPE SIZE	PIPE DIA.	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND	PIPE W/STABILIZED SAND
6"	6.315	0.88	0.85	1.00	0.83	0.85	1.00	0.83	0.85
8"	8.625	1.08	0.96	1.25	1.00	1.00	1.25	1.00	1.00
10"	10.750	1.28	1.11	1.50	1.11	1.11	1.50	1.11	1.11
12"	12.750	1.48	1.28	1.75	1.28	1.28	1.75	1.28	1.28
14"	14.625	1.68	1.44	2.00	1.44	1.44	2.00	1.44	1.44
16"	16.500	1.88	1.61	2.25	1.61	1.61	2.25	1.61	1.61
18"	18.375	2.08	1.77	2.50	1.77	1.77	2.50	1.77	1.77
20"	20.250	2.28	1.96	2.75	1.96	1.96	2.75	1.96	1.96
24"	24.000	2.88	2.44	3.50	2.44	2.44	3.50	2.44	2.44

NOTE: Calculations in Minimum Area column are in square feet. Calculations in Minimum Volume column are in cubic yards.



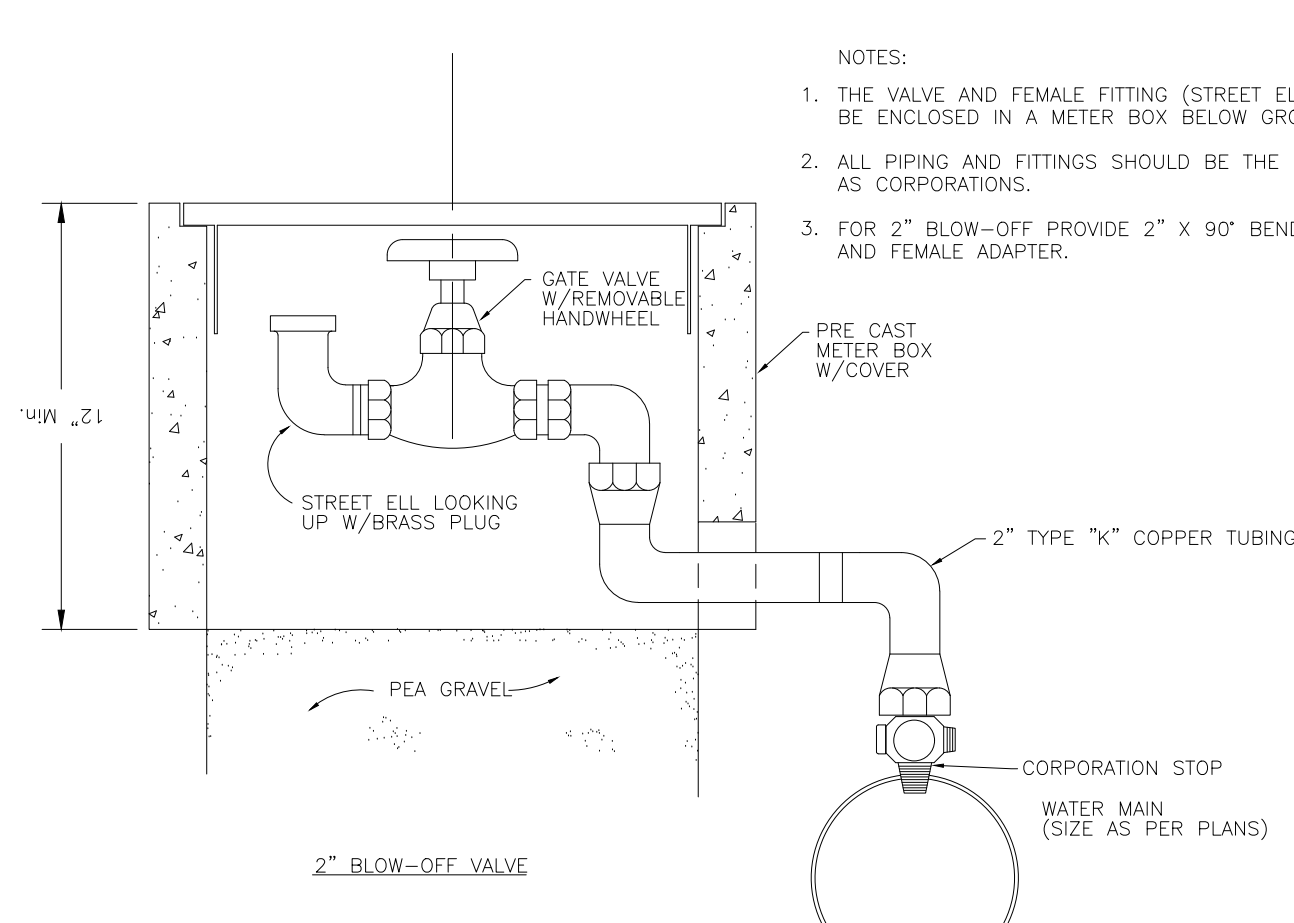
RESTRAINER CHART

NOM. PIPE SIZE	PVC PIPE W/STEEL PIPE O.D.	PVC PIPE W/D.I. PIPE O.D.	RESTRAINING RODS			CLAMPING BOLTS	APPROX. WGT. (LBS.)		
			A	B	C				
2	2.375	N/A	1-1/8	6-1/4	4.0	2	5/8 x 2	5/8 x 4	4
3	3.500	N/A	1-1/8	11-1/16	4.0	2	5/8 x 2	5/8 x 4	5
4	4.500	4.80	1-1/8	9-1/8	6.0	2	3/4 x 2	5/8 x 4	6.5
6	6.625	6.90	1-1/8	11-1/8	6.0	2	3/4 x 2	5/8 x 4	8.5
8	8.625	8.95	1-1/4	13-7/8	6.0	2	3/4 x 2	5/8 x 4	13
10	10.750	11.10	1-3/8	16-5/8	6.0	4	3/4 x 2	7/8 x 6	23
12	12.750	13.20	1-3/8	19-1/4	6.0	4	3/4 x 2	7/8 x 6	25
14	N/A	15.30	4.0	22.0	15.0	6	3/4 x 17	7/8 x 7	50
16	N/A	17.40	4.0	24.2	15.0	6	3/4 x 17	7/8 x 7	65
18	N/A	19.50	5.0	26.5	15.0	8	3/4 x 17	1 x 7	65
20	N/A	21.60	7.0	28.6	22.0	8	3/4 x 24	1 1/8 x 9	125
24	N/A	25.80	7.0	32.8	22.0	12	3/4 x 24	1 1/8 x 9	143

Weights include Restraining rods, clamping bolt and nuts and special bolts and nuts.
 N/A PIPE NOT MANUFACTURED IN THIS SIZE.
 Dimensions in inches.

REVISIONS

NO.	DESCRIPTION	DATE
1	CITY OF MONTGOMERY WATERLINE RESTRAINER	WATER
2		W-3



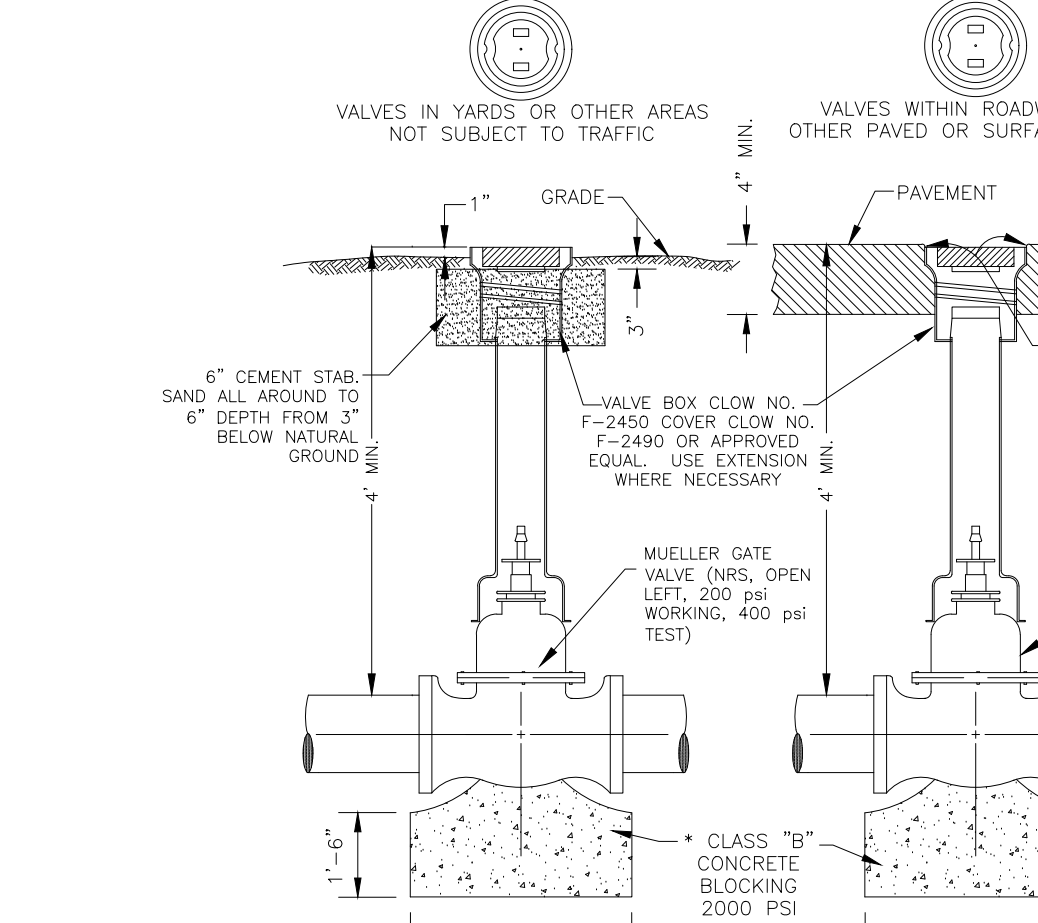
2" BLOW-OFF VALVE
 NTS

1. THE VALVE AND FEMALE FITTING (STREET ELL) SHOULD BE ENCLOSED IN A METER BOX BELOW GROUND LEVEL.
 2. ALL PIPING AND FITTINGS SHOULD BE THE SAME SIZE AS CORPORATIONS.
 3. FOR 2" BLOW-OFF PROVIDE 2" X 90° BEND (LOOKING UP) AND FEMALE ADAPTER.



GATE VALVE & BOX INSTALLATION
 14" AND SMALLER WATERLINE
 NTS

* BLOCK GATE VALVES WITH COMPRESSION JOINT FITTINGS ON 8" & LARGER LINES



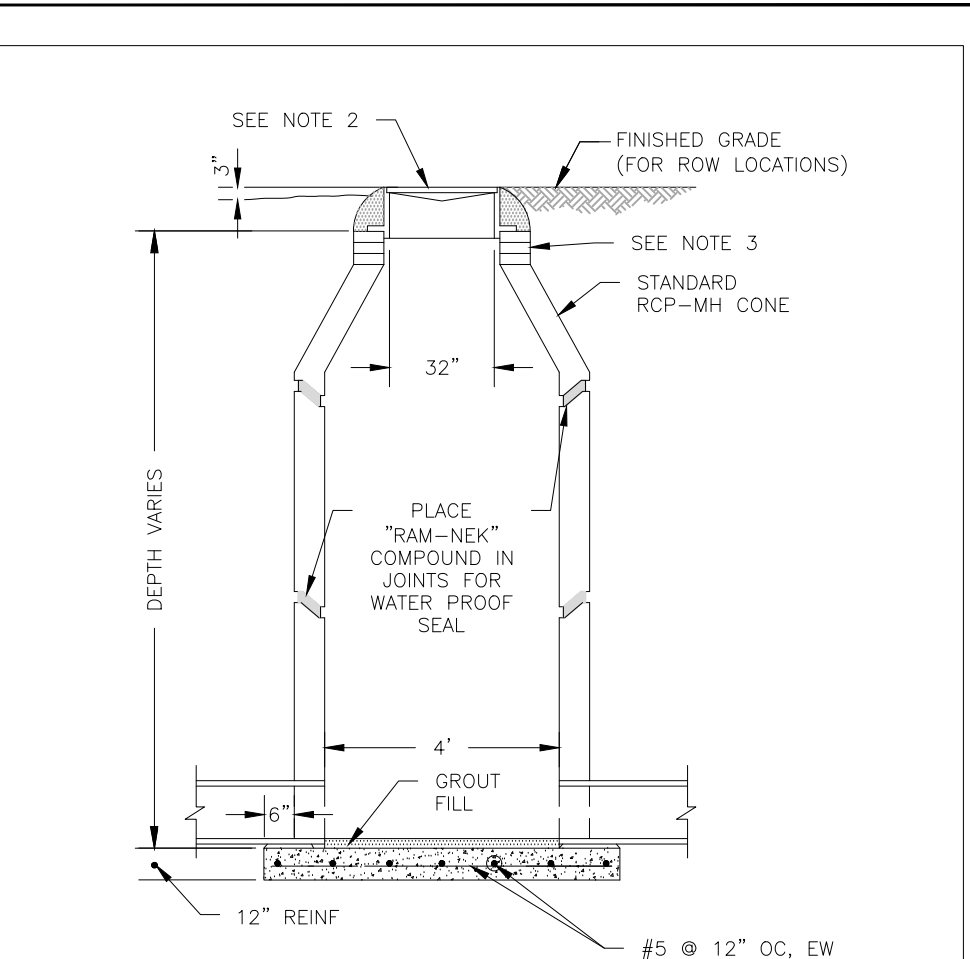
VALVES IN YARDS OR OTHER AREAS
 NOT SUBJECT TO TRAFFIC

VALVES WITHIN ROADWAYS OR OTHER PAVED OR SURFACED AREAS



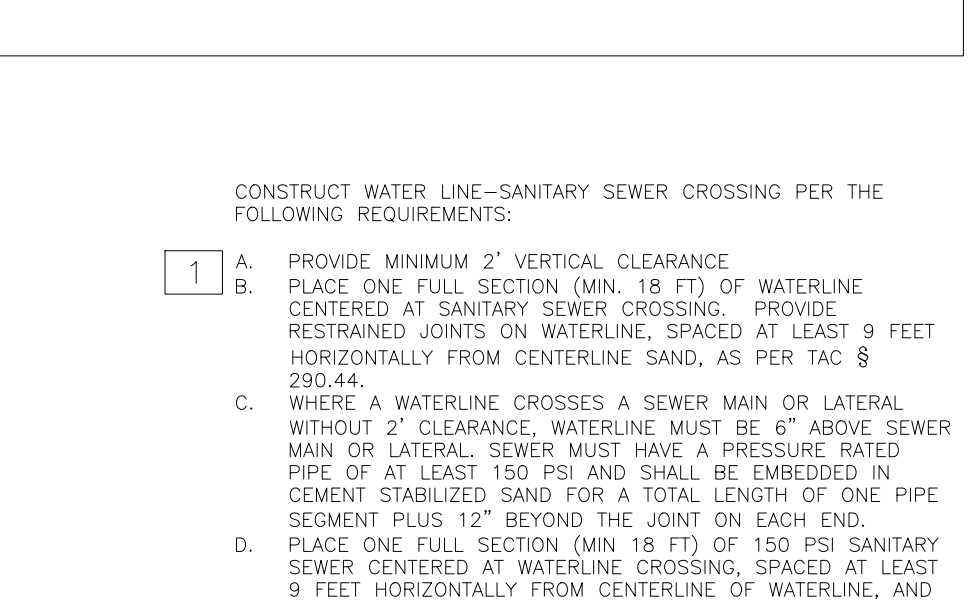
WATER LINE AND SANITARY SEWER CROSSING NOTES AND DETAIL
 NTS

1. PROVIDE MINIMUM 2' VERTICAL CLEARANCE.
 2. PLACE ONE FULL SECTION (MIN. 18 FT) OF WATERLINE CENTERED AT SANITARY SEWER CROSSING. PROVIDE RESTRAINED JOINTS ON WATERLINE, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE SAND, AS PER TAC § 290.44.
 3. WHERE A WATERLINE CROSSES A SEWER MAIN OR LATERAL WITHOUT 2' CLEARANCE, WATERLINE MUST BE 6" ABOVE SEWER MAIN OR LATERAL. SEWER MUST HAVE A PRESSURE RATED PIPE OF AT LEAST 150 PSI AND SHALL BE EMBEDDED IN CEMENT STABILIZED SAND FOR A TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12" BEYOND THE JOINT ON EACH END.
 4. PLACE ONE FULL SECTION (MIN. 18 FT) OF 150 PSI SANITARY SEWER CENTERED AT WATERLINE CROSSING, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE OF WATERLINE, AND EMBED IN CEMENT STABILIZED SAND.
 5. WATERLINES, INCLUDING SERVICE LEADS, SHALL ALWAYS CROSS OVER SANITARY SEWER LINES AND SERVICE LEADS UNLESS SPECIFICALLY LABELED AND APPROVED OTHERWISE.



STANDARD SANITARY MANHOLE
 NTS

1. ALL RCP MANHOLES SHALL BE IN ACCORDANCE ASTM C-478
 2. EAST JORDAN 32" FRAME AND COVER (OR EQUAL)
 3. FOR ADJUSTMENT OF MANHOLE LID USE STANDARD CONCRETE RINGS. NO BRICK ADJUSTMENT ALLOWED
 4. PRECAST BOTTOM SECTION OF MANHOLE TO BE SECURELY ATTACHED TO REINFORCED CONCRETE SLAB WITH WATERPROOF SEALER
 5. MANHOLE SECTIONS, CONES AND INVERT TOPS SHALL BE COATED WITH A SUITABLE PROTECTIVE, 20 MILS THICK, COLD TAR EPOXY COATING



WATER LINE AND SANITARY SEWER CROSSING NOTES AND DETAIL
 NTS

1. PROVIDE MINIMUM 2' VERTICAL CLEARANCE.
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L SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.L2ENGINEERING.COM
 21123 EVA STREET #200
 MONTGOMERY, TEXAS 77155
 OFFICE: 936-647-0420

CLIENT INFORMATION
 CHEATHAM MANAGEMENT, LLC
 CHIRS CHEATHAM
 PO BOX 234
 MONTGOMERY, TX 77155

PROJECT ADDRESS
 LEWIS WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 4 WATER AND SANITARY SEWER DETAILS
 1 OF 2

DRAWING ISSUE

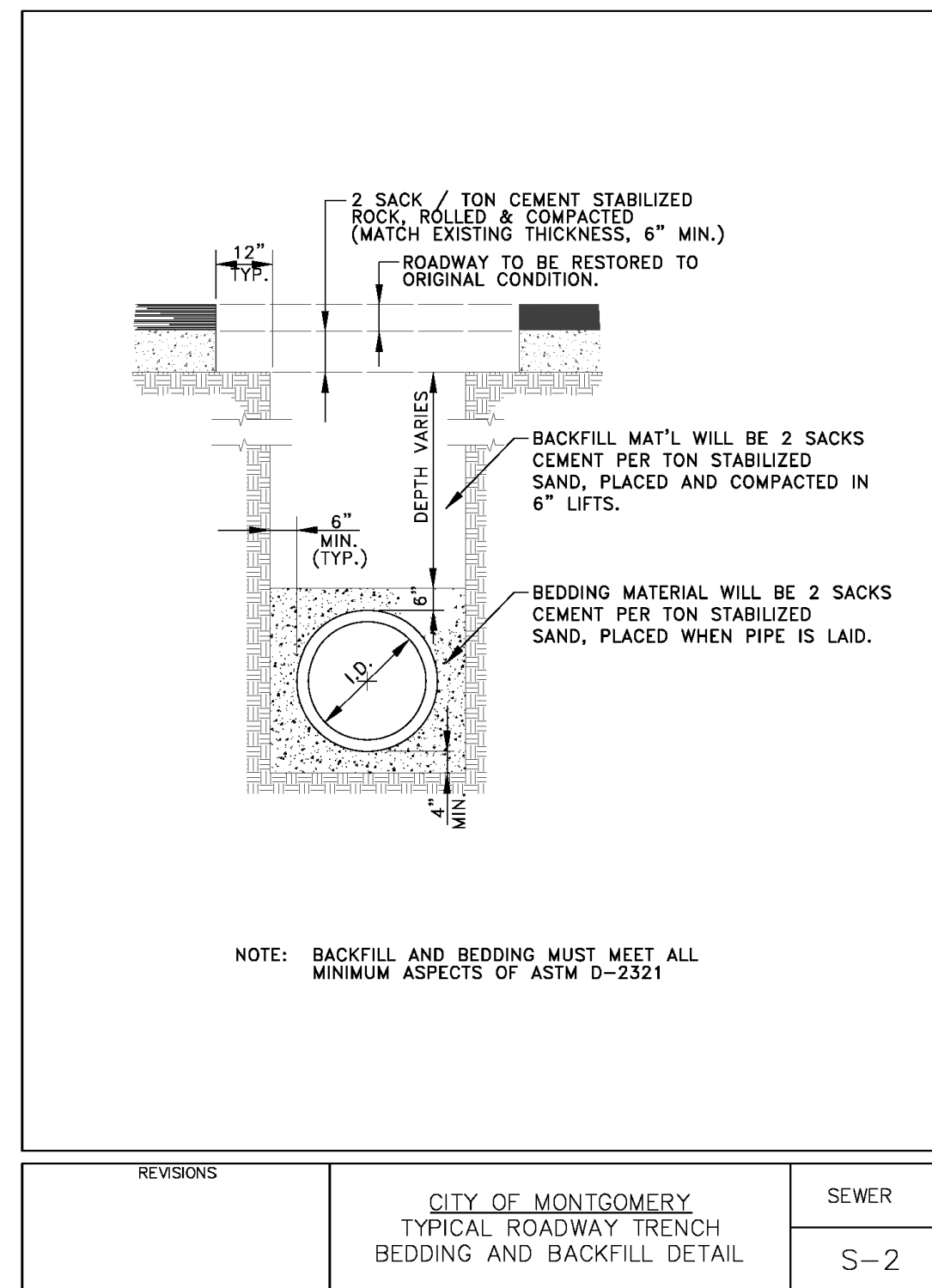
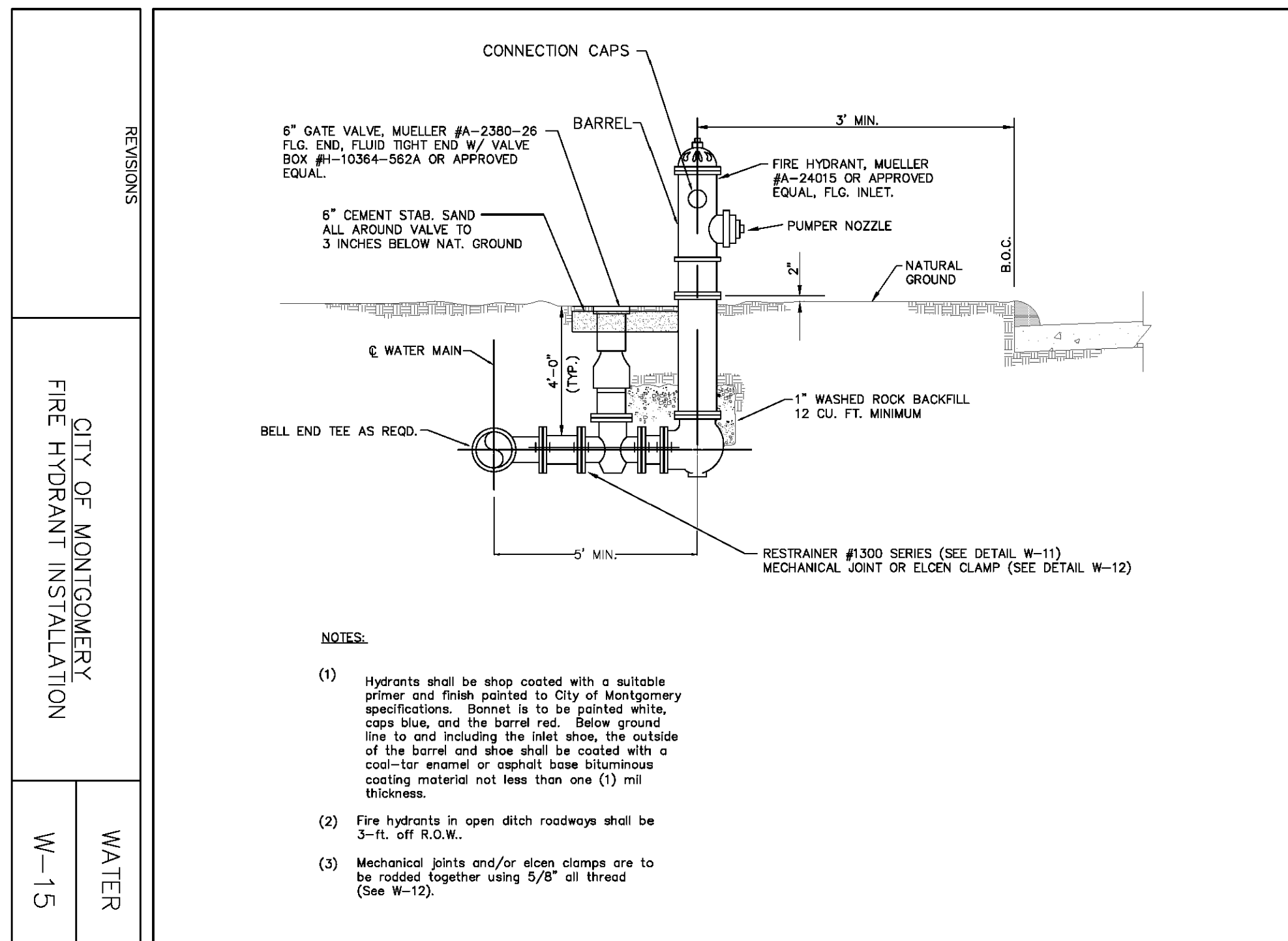
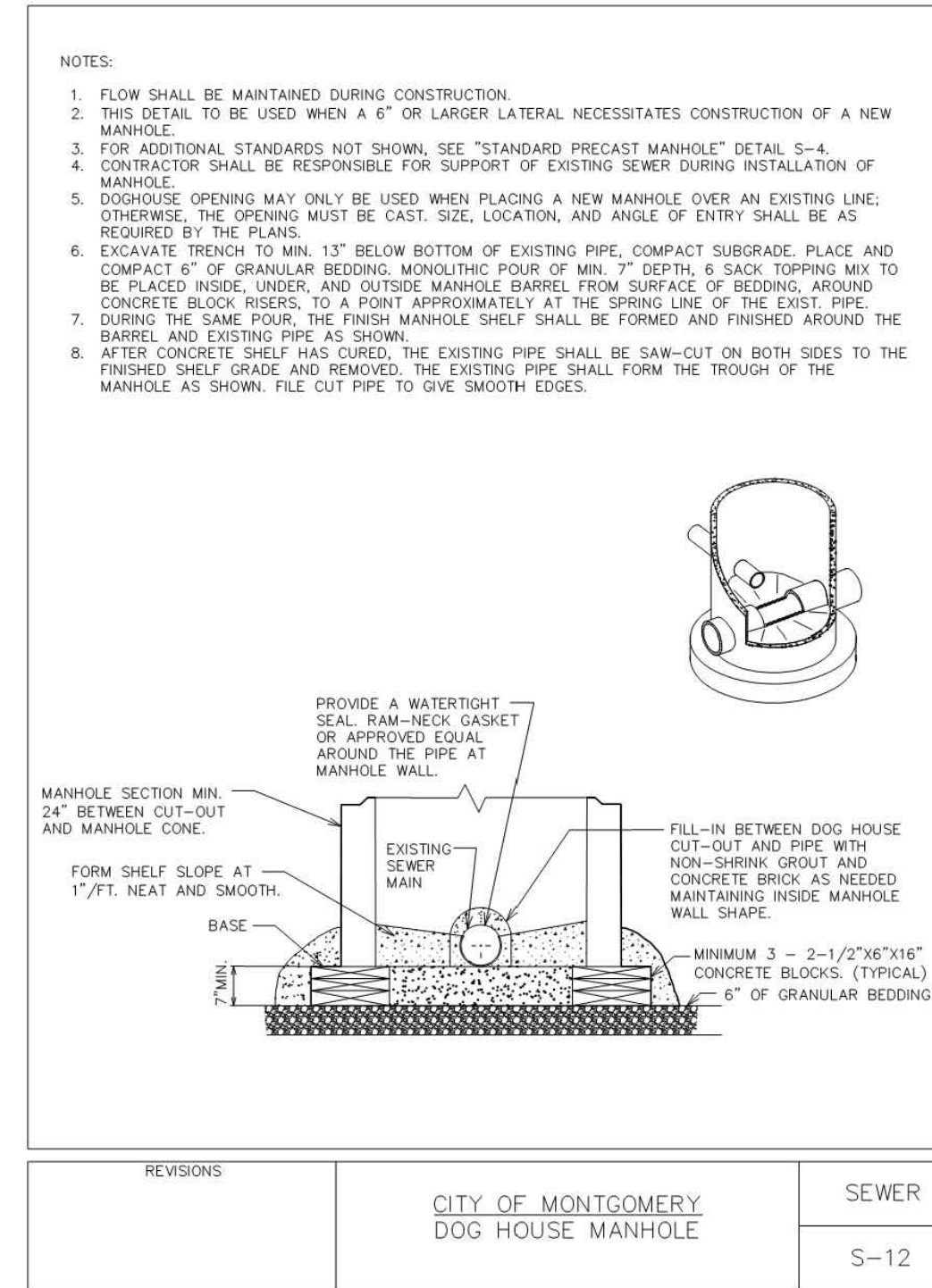
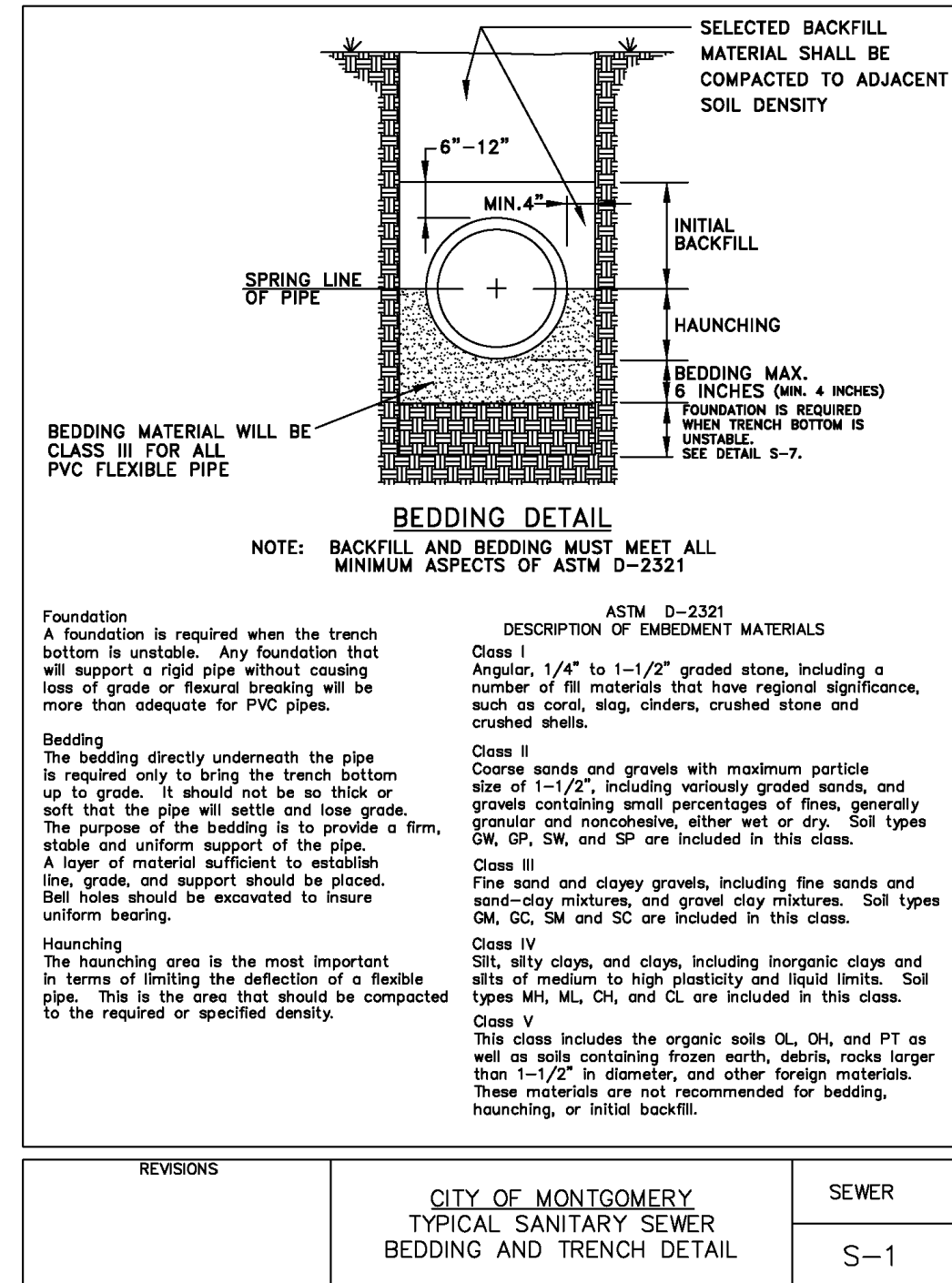
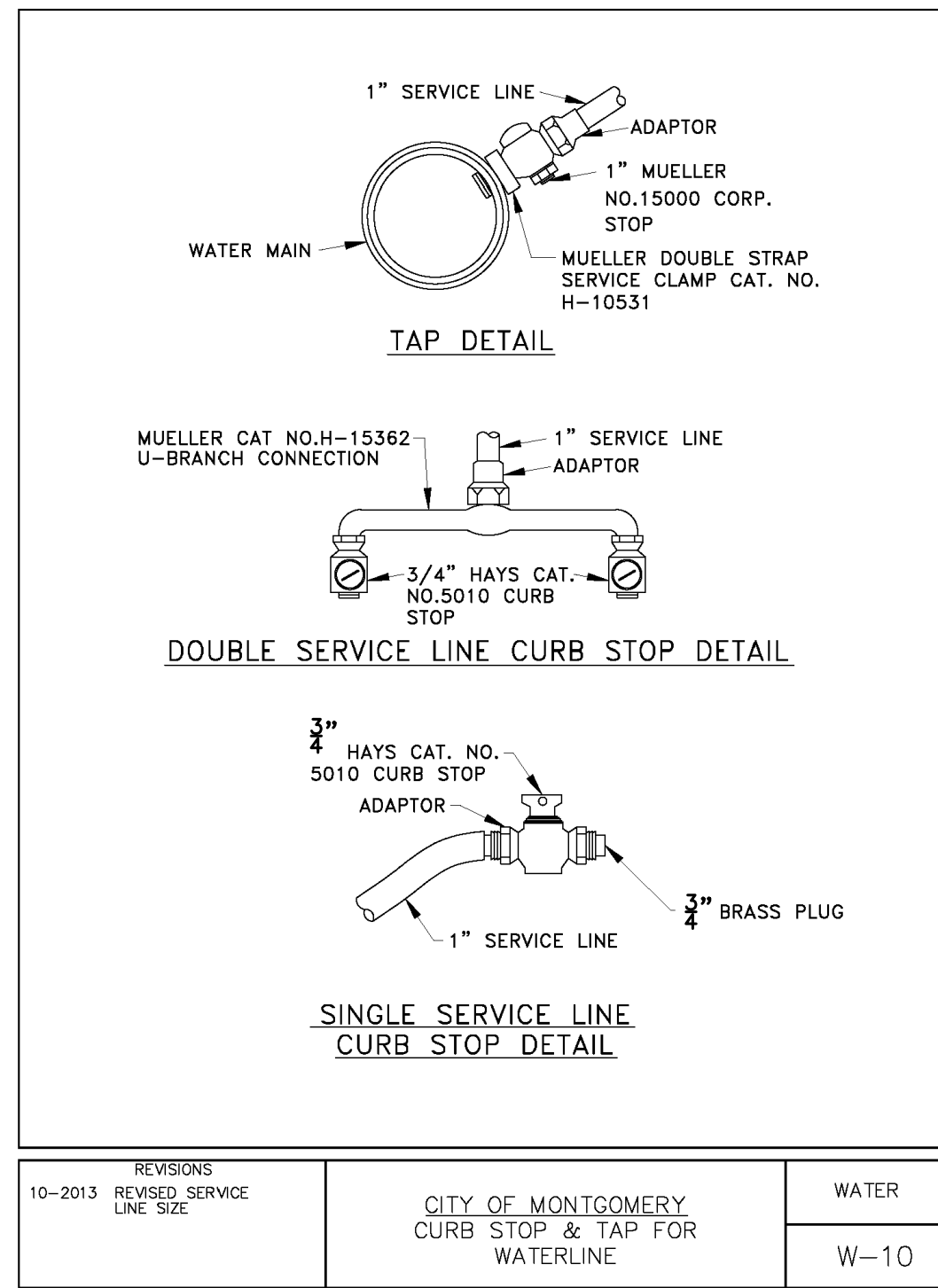
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1	09/15/20	JTW	FOR PERMIT

DRAWING INFORMATION

PROJECT	10600	TDLR	**
DRAWN	MCV	CHECKED	JTW
SCALE	AS NOTED	SHEET	19

STATE OF TEXAS
 JONATHAN L. WHITE
 127058
 PROFESSIONAL ENGINEER
 09/15/2020

CITY OF MONTGOMERY, CITY ENGINEER
 SIGNATURE VALID FOR ONE (1) YEAR



L SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.L2ENGINEERING.COM
 21123 EVA STREET #200
 MONTGOMERY, TEXAS 77156
 OFFICE: 936-647-0420

CLIENT INFORMATION
 CHEATHAM MANAGEMENT, LLC
 CHIRS CHEATHAM
 PO BOX 234
 MONTGOMERY, TX 77356
PROJECT ADDRESS
 EMMAS WAY
 MONTGOMERY TEXAS

**HILLS OF TOWN CREEK
 SECTION 4
 WATER AND SANITARY SEWER DETAILS
 2 OF 2**

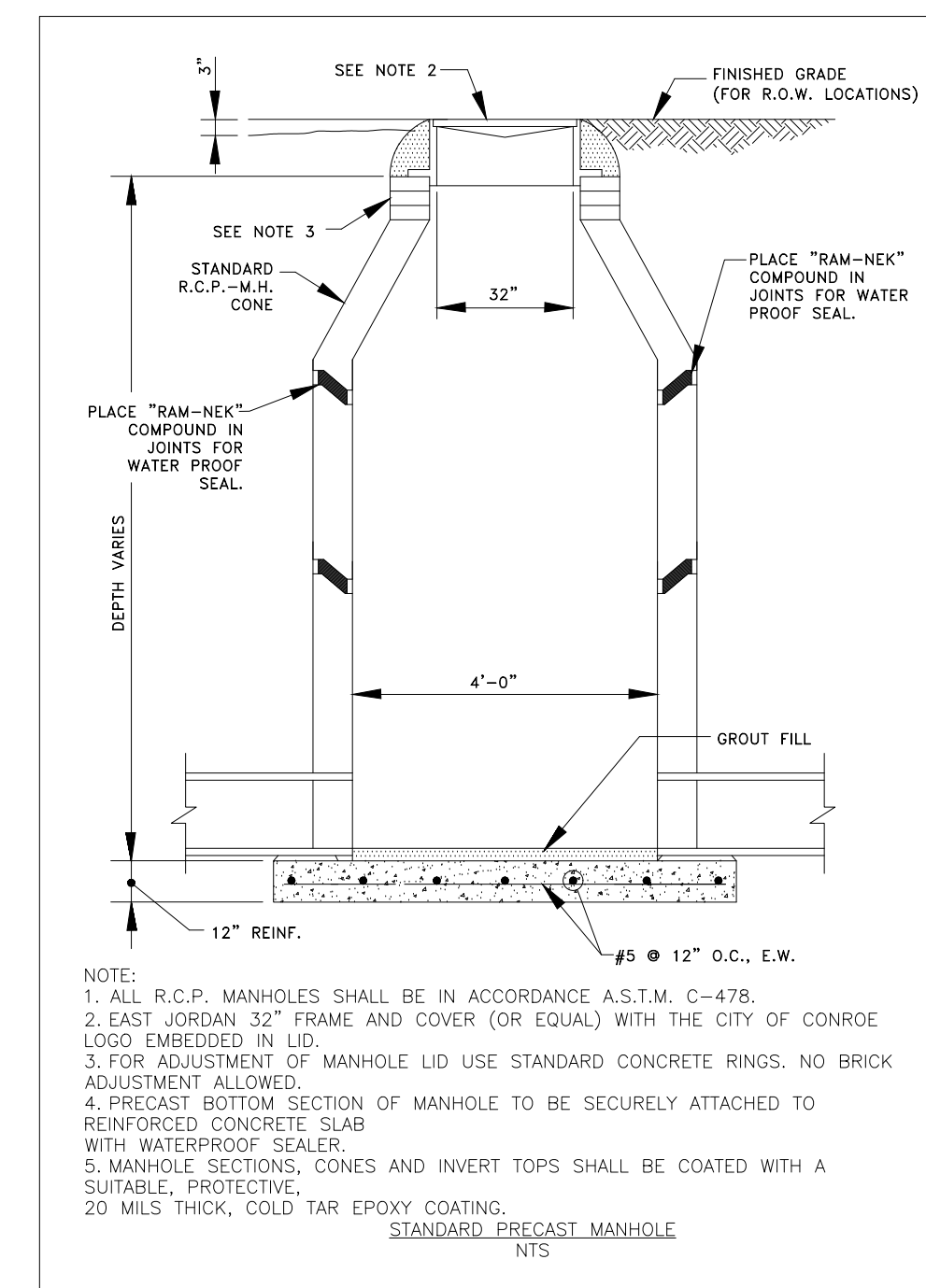
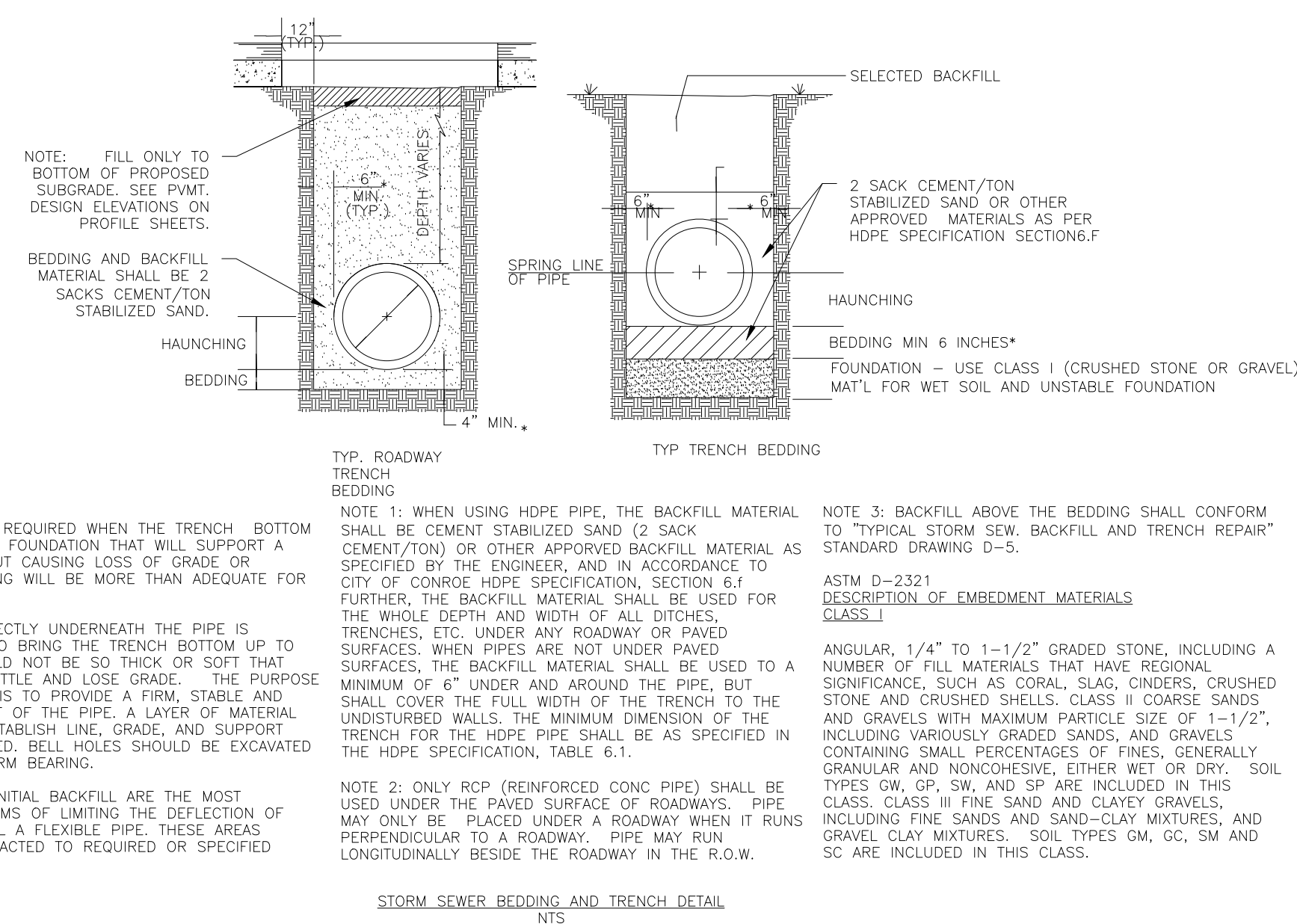
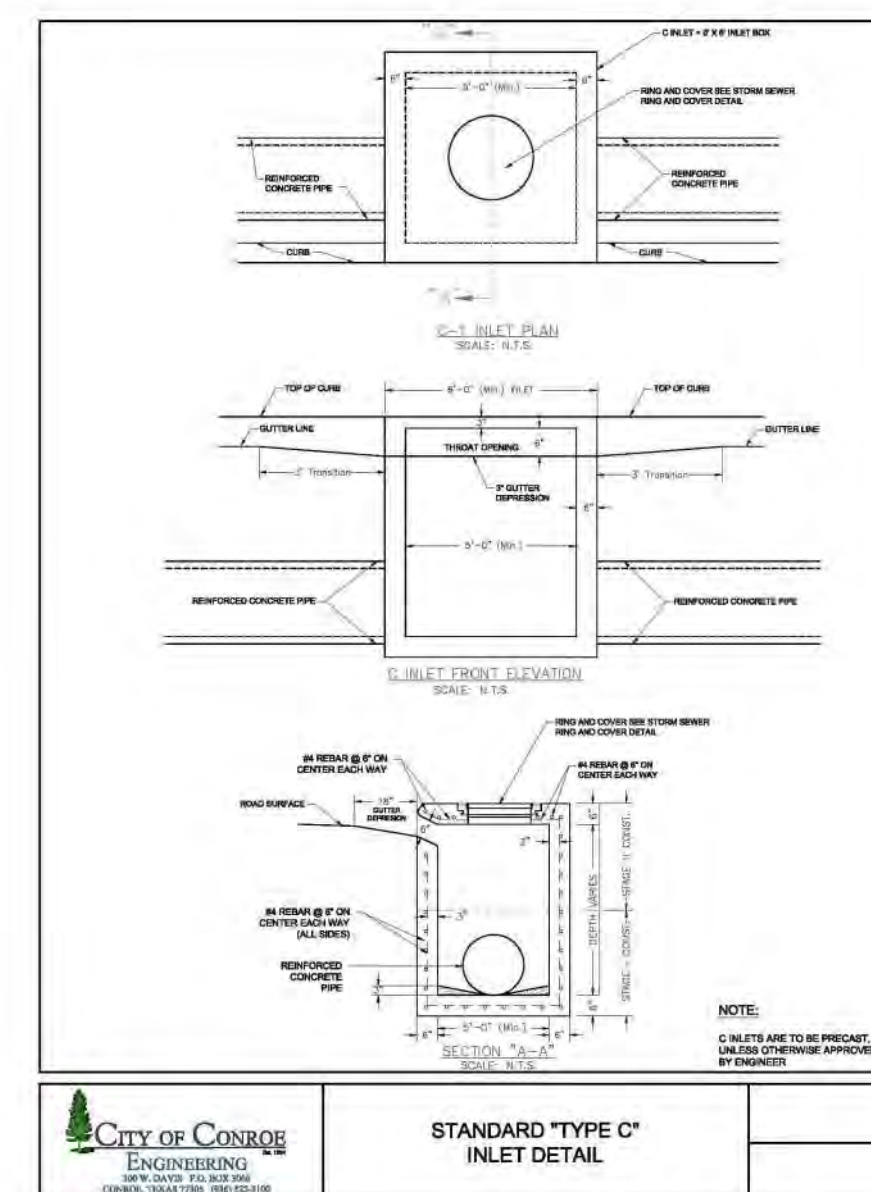
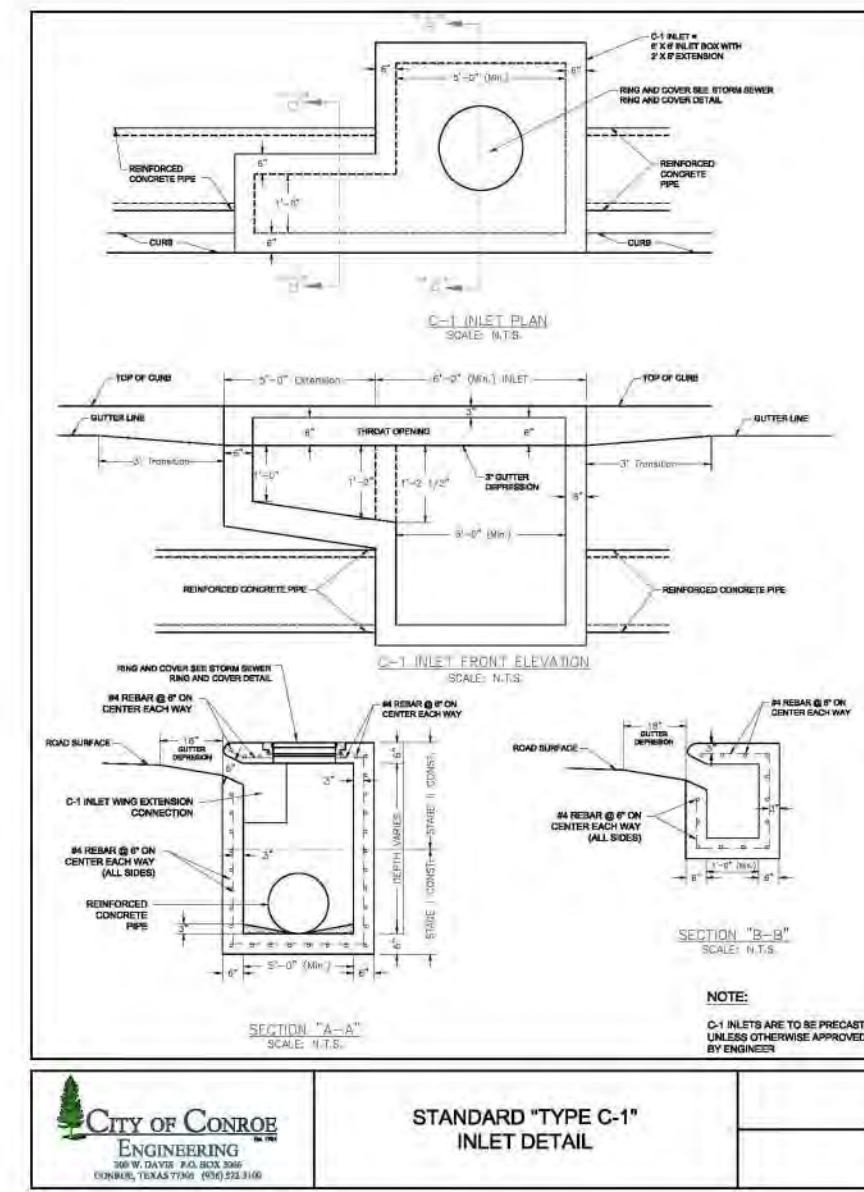
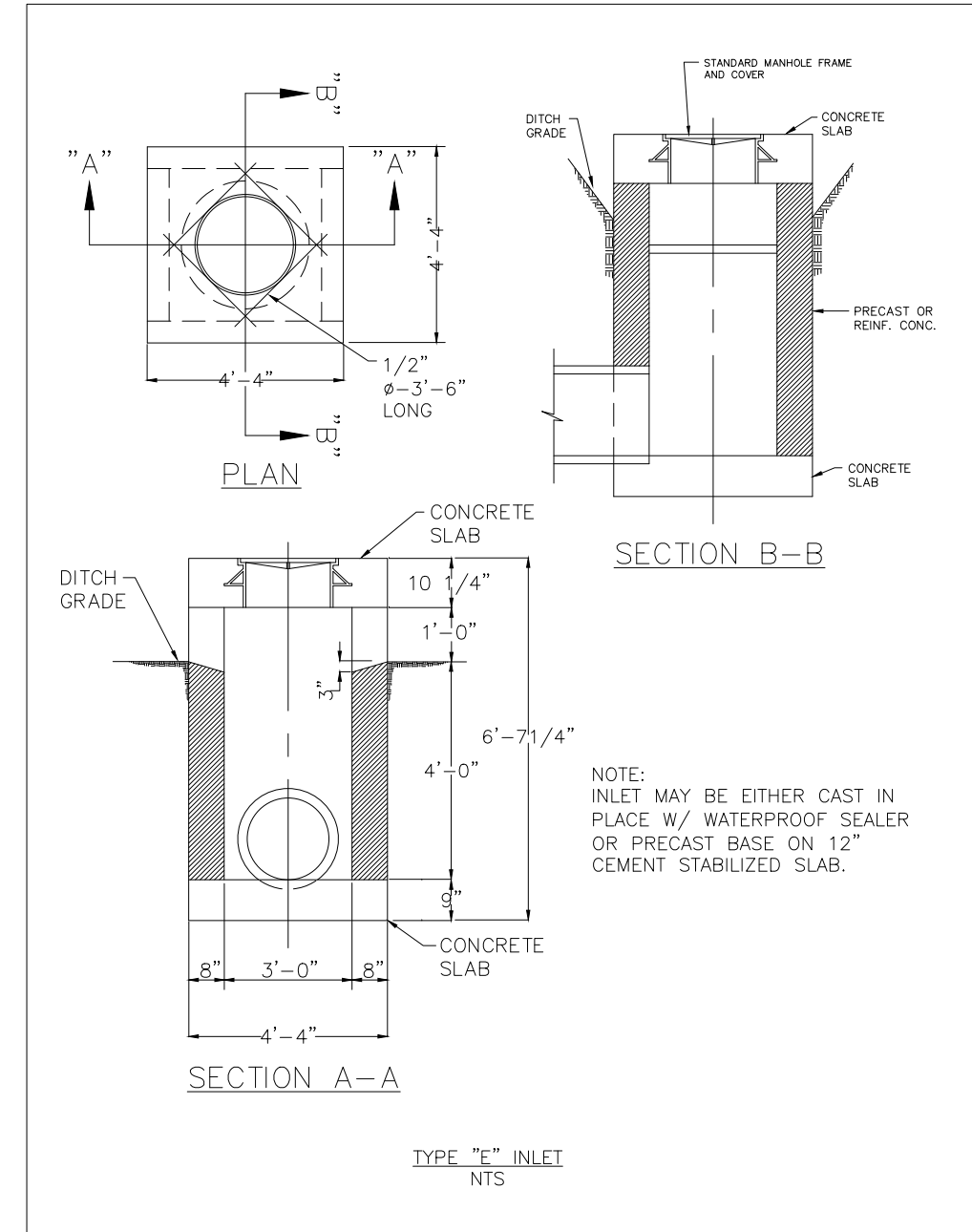
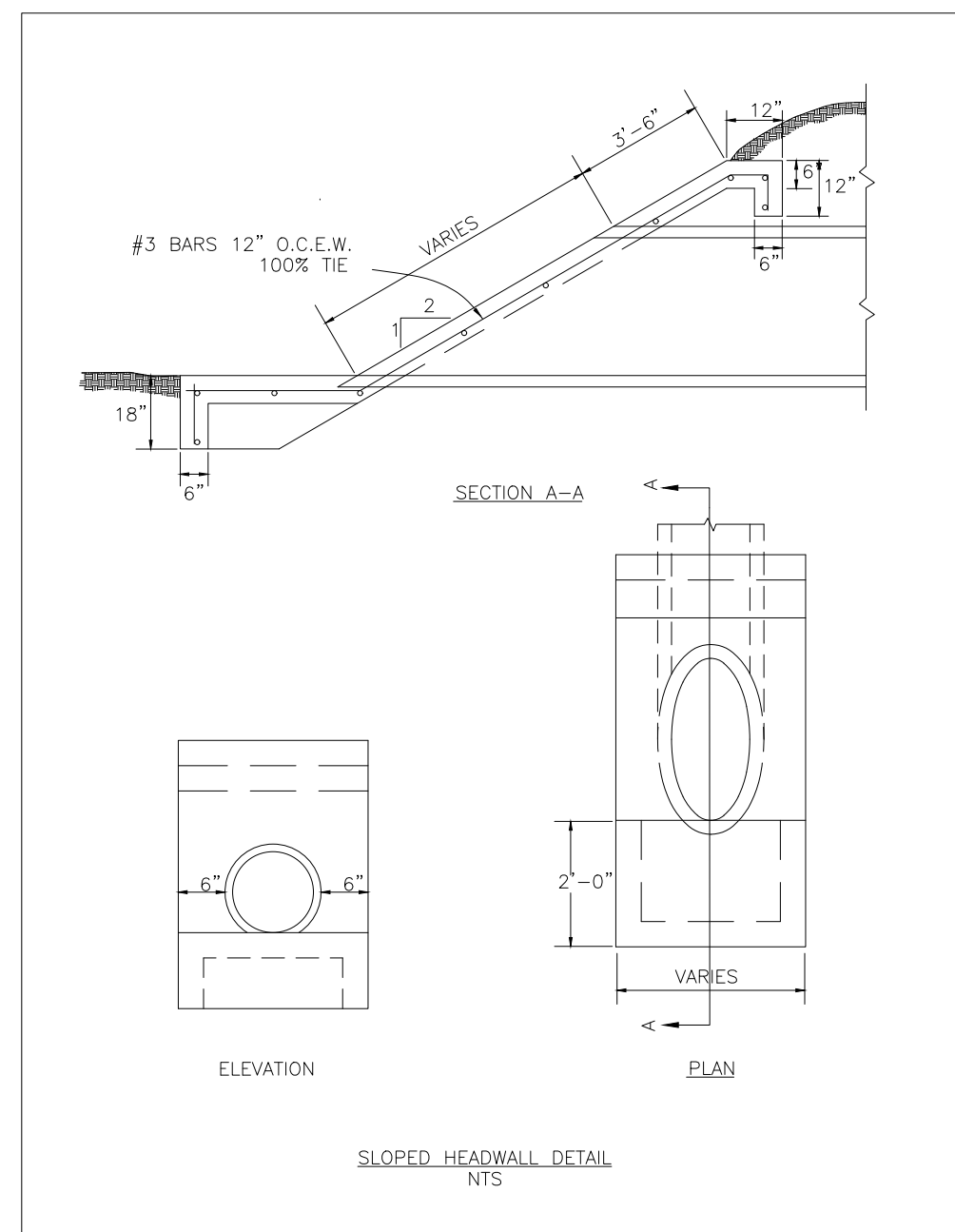
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1	09/15/20	JTW	FOR PERMIT

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SCALE	AS NOTED	SHEET	20

STATE OF TEXAS
 JONATHAN WHITE
 127058
 LICENSED PROFESSIONAL ENGINEER
 09/15/2020

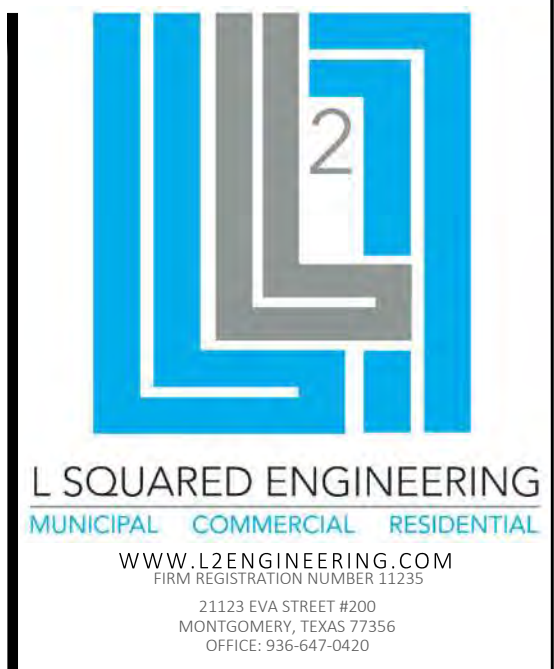
CITY OF MONTGOMERY, CITY ENGINEER SIGNATURE VALID FOR ONE (1) YEAR DATE

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE



CLIENT INFORMATION
CHEATHAM MANAGEMENT, LLC
CHIRS CHEATHAM
PO BOX 234
MONTGOMERY, TX 77356
PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 4
DRAINAGE AND STORM SEWER DETAILS

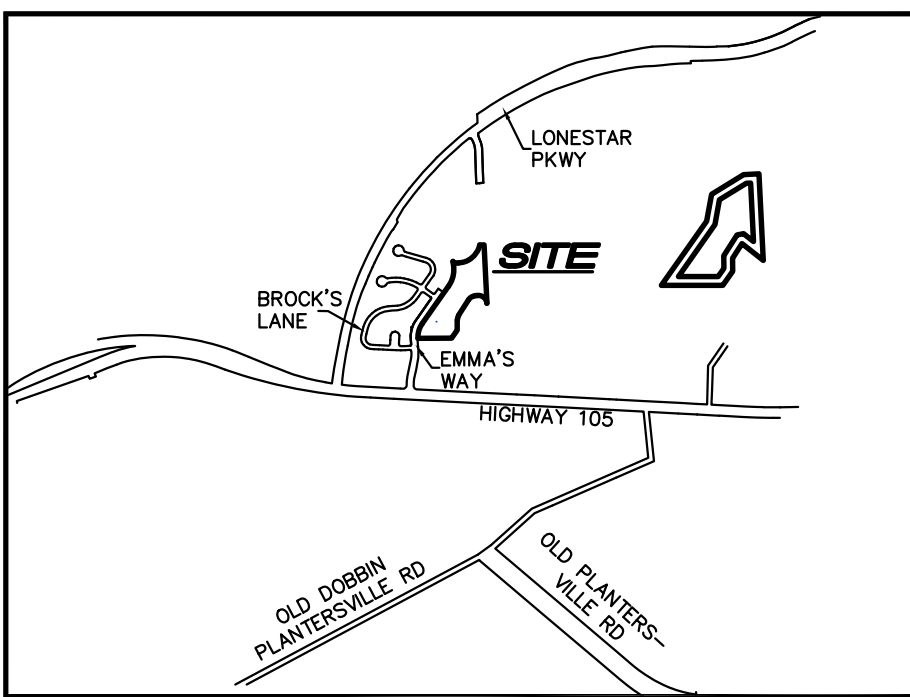
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1	09/15/20	JTW	FOR PERMIT

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AS NOTED			

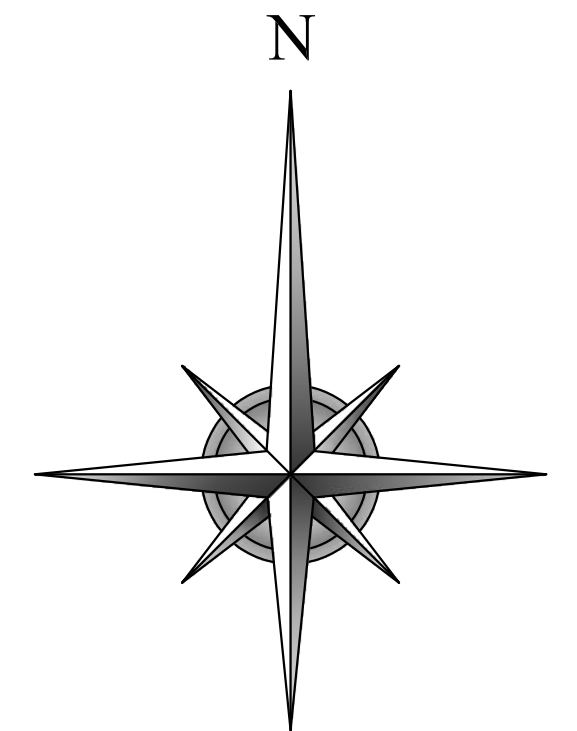
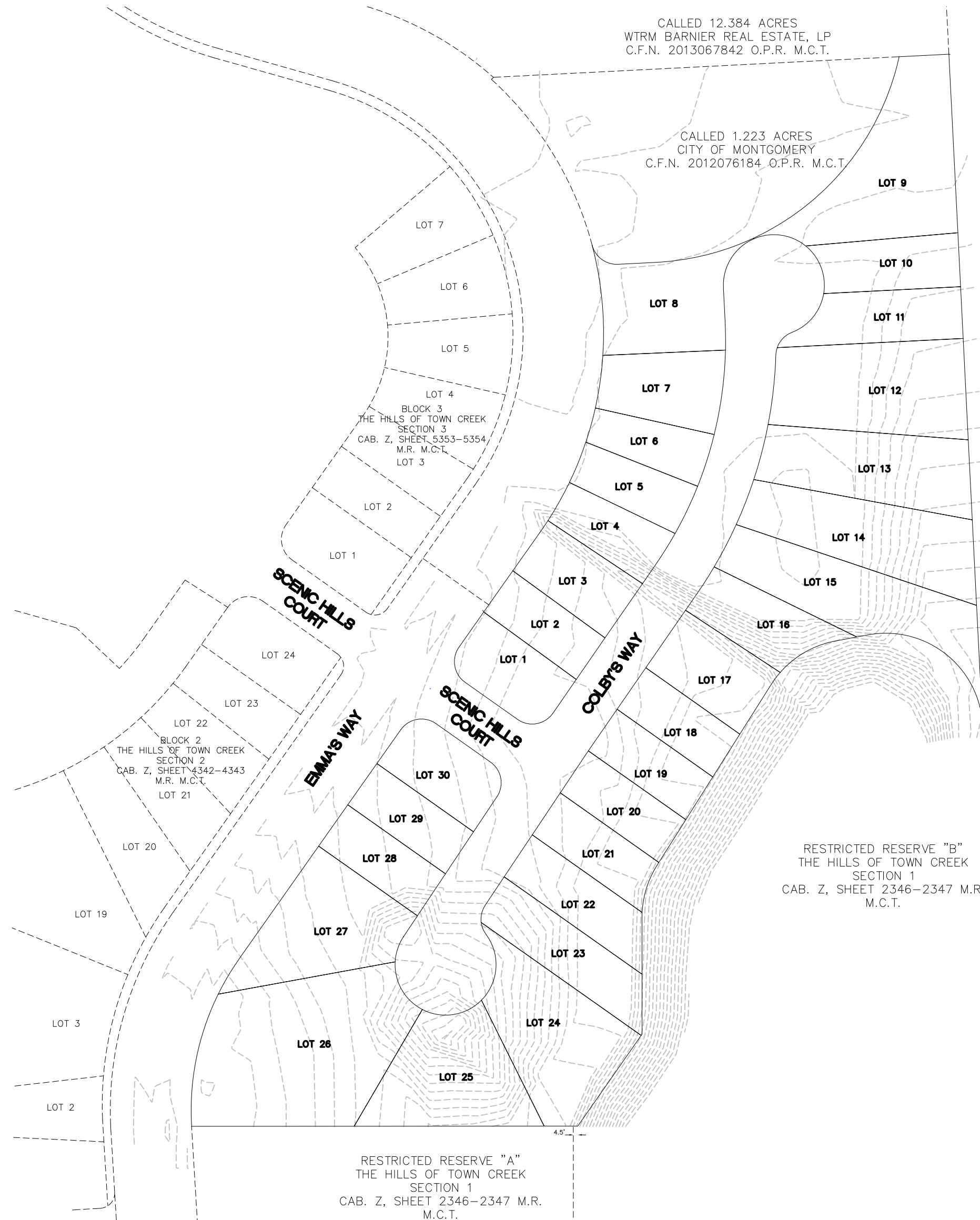


09/15/2020

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LOCATION MAP
NOT TO SCALE



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

LEGEND / ABBREVIATIONS

CAB.	CABINET
C.F.N.	CLERK'S FILE NUMBER
FND.	FOUND
I.R.	IRON ROD
O.P.R.	OFFICIAL PUBLIC RECORDS
M.C.T.	MONTGOMERY COUNTY, TEXAS
M.R.	MAP RECORDS
R.O.W.	RIGHT OF WAY
(TYP.)	TYPICAL
V.S.	VEGETATION SETBACK
PROPERTY MARKER	○

CITY OF MONTGOMERY BENCHMARKS

MONT 3 ELEV.=268.73'

3" BRASS DISK LOCATED FROM THE INTERSECTION OF HWY 105 AND HWY 149, WEST ±4700' TO THE PARKING LOT OF THE HERITAGE HOUSE RESTAURANT, WHICH IS LOCATED ON THE NORTH SIDE OF HWY 105.

MONT 7 ELEV.=291.77'

3" BRASS DISK IS LOCATED IN THE CENTER OF MONTGOMERY ON THE SOUTH SIDE OF HWY 105. MARK IS IN FRONT (NORTH) OF GAS PUMPING AREA OF BROOKSHIRE BROTHERS GROCERY STORE, AS WELL AS ACROSS HWY 105(SOUTH) FROM 'THE OLDE SCHOOL HOUSE'.

BENCHMARK

BRASS DISK IN CONCRETE ELEV.=314.12'

BRASS DISK IN CONCRETE IN THE SOUTHEAST RIGHT-OF-WAY OF EMMA'S WAY LOCATED NORTH 29°13'51" WEST, A DISTANCE OF 2.19' FROM THE COMMON CORNER OF LOTS 1 AND 2, BLOCK 1, THE HILLS OF TOWN CREEK.

PRELIMINARY PLAT
THE HILLS OF TOWN CREEK
SECTION 4
A SUBDIVISION OF
8.1365 ACRES (354,425 SQ FT.)
BENJAMIN RIGBY LEAGUE, ABSTRACT 31
MONTGOMERY COUNTY, TEXAS

30 LOTS

1 BLOCK

APRIL 2020

SURVEYOR:



LAND SURVEYING TBPLS REG NO. 10194560

10210 GROGANS MILL ROAD, SUITE 120
THE WOODLANDS, TX 77380
T: 224.828.1208
corelandsurveying.com

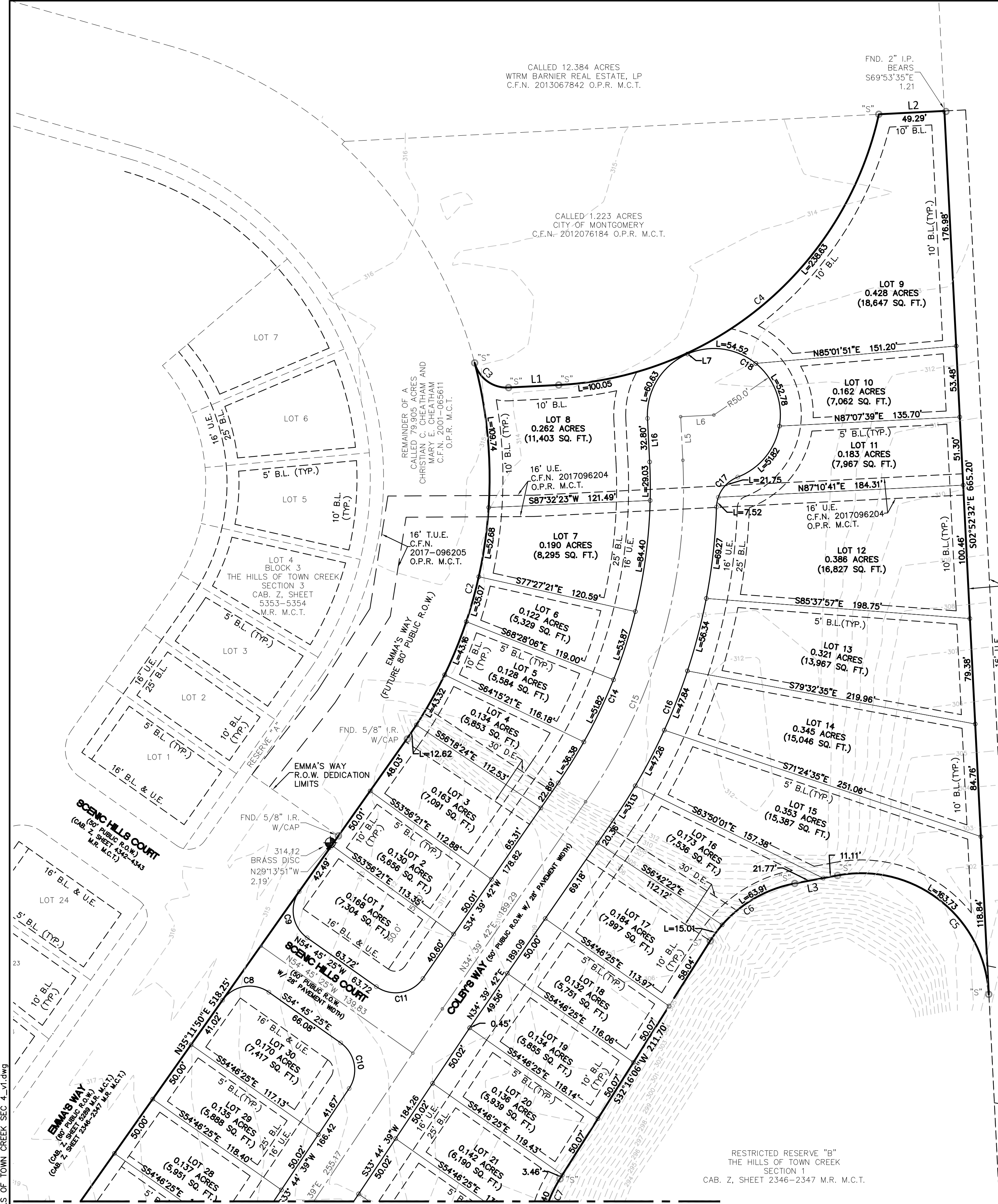
ENGINEER:



21123 EVA ST #200,
MONTGOMERY, TX 77356
(936) 647-0420

- GENERAL NOTES:
- The coordinates shown hereon are Texas Central Zone No. 4204 State Plane Grid Coordinates (NAD83) and may be brought to surface by applying the following combined scale factor 0.999922.
 - Distances shown along curves are arc lengths.
 - Flood Statement: This site (proposed area) is situated in Zone "X" in Montgomery County, Texas according to FEMA map number 48339C0200G dated August 18, 2014: This statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. This determination has been made by scaling the property on the referenced map and is not the result of an elevation survey. This flood statement shall not create liability on the part of the surveyor.
 - All corners are set 5/8 inch iron rods with cap stamped "Core 6657" unless otherwise shown or noted.
 - In addition to the building line shown on the face of the plat, all lots shall have a minimum 5' side yard setback and a minimum 10' rear yard setback, unless otherwise noted.

20-00443 HILLS OF TOWN CREEK SEC 4_v1.dwg

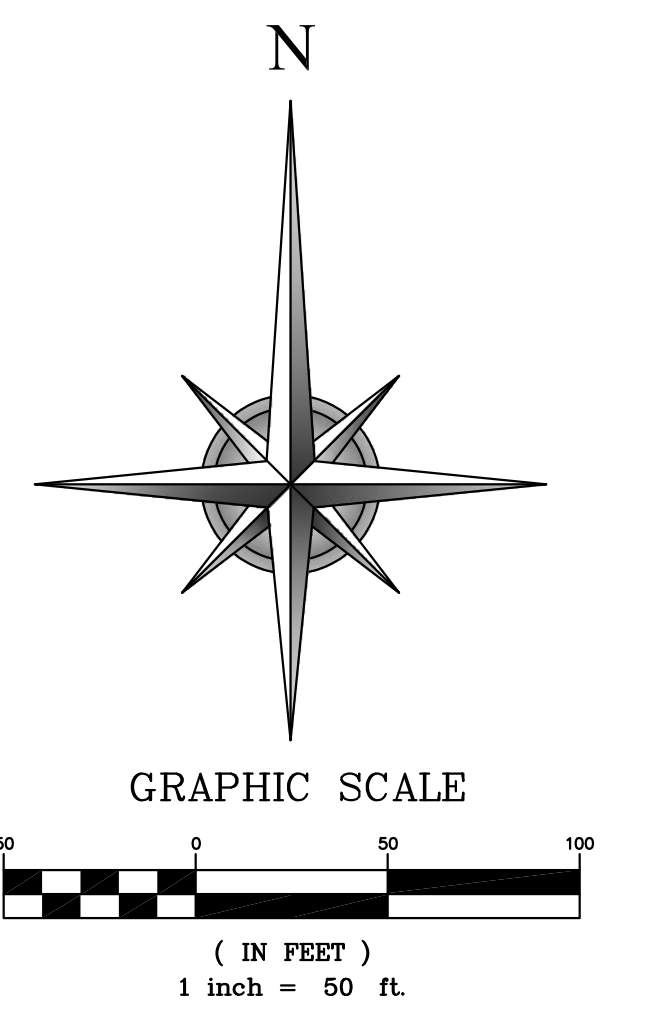


LINE TABLE

NO.	BEARING	LENGTH
L1	N 87°05'32" E	37.81'
L2	N 87°05'32" E	49.29'
L3	S 79°22'17" W	32.88'
L4	S 56°15'21" E	25.00'
L5	N 02°52'32" W	32.80'
L6	N 87°07'28" E	25.00'
L7	S 23°23'42" E	0.69'

CURVE TABLE

NO.	LENGTH	RADIUS	DELTA	CHD. BRG.	CHORD
C1	175.59'	260.00'	38°41'38"	N 15°50'59" E	172.27'
C2	296.60'	340.00'	49°58'54"	N 10°12'24" E	287.28'
C3	34.08'	25.00'	78°06'01"	S 53°51'15" E	31.50'
C4	338.68'	260.00'	74°38'06"	N 49°46'29" E	315.24'
C5	163.74'	96.00'	97°43'25"	N 51°46'06" W	144.60'
C6	78.92'	96.00'	47°06'15"	S 55°49'11" W	76.72'
C7	54.14'	96.00'	32°18'55"	S 16°06'41" W	53.43'
C8	39.29'	25.00'	90°02'44"	N 80°13'13" E	35.37'
C9	39.25'	25.00'	89°57'16"	N 09°46'47" W	35.34'
C10	38.62'	25.00'	88°30'04"	S 10°30'23" E	34.89'
C11	39.52'	25.00'	90°34'53"	S 79°57'08" W	35.53'
C12	218.63'	50.00'	250°31'44"	N 88°28'47" E	81.65'
C13	30.77'	25.00'	70°31'44"	S 01°31'13" E	28.87'
C14	255.51'	390.00'	37°32'14"	N 15°53'35" E	250.96'
C15	271.89'	415.00'	37°32'14"	S 15°53'35" W	267.05'
C16	251.84'	440.00'	32°47'37"	N 18°15'53" E	248.41'
C17	29.27'	25.00'	67°04'15"	N 35°24'12" E	27.62'
C18	219.75'	50.00'	251°48'53"	N 56°58'07" W	81.00'



LEGEND / ABBREVIATIONS

CAB.	CABINET
C.F.N.	CLERK'S FILE NUMBER
FND.	FOUND
I.R.	IRON ROD
O.P.R.	OFFICIAL PUBLIC RECORDS
M.C.T.	MONTGOMERY COUNTY, TEXAS
M.R.	MAP RECORDS
R.O.W.	RIGHT OF WAY
(TYP.)	TYPICAL
V.S.	VEGETATION SETBACK
PROPERTY MARKER	○

CITY OF MONTGOMERY BENCHMARKS

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SECTION 4
 A SUBDIVISION OF
 8.1365 ACRES (354,425 SQ. FT.)
 BENJAMIN RIGBY LEAGUE, ABSTRACT 31
 MONTGOMERY COUNTY, TEXAS

30 LOTS 1 BLOCK
 APRIL 2020

SURVEYOR: **CORE** ENGINEER: **L SQUARED ENGINEERING**

LAND SURVEYING TBPLS REG NO. 10194560 21123 EVA ST #200, MONTGOMERY, TX 77356 (936) 647-0420

10210 GROGANS MILL ROAD, SUITE 120 THE WOODLANDS, TX 77380 T: 224.828.1208 corelandsurveying.com

20-00443 HILLS OF TOWN CREEK SEC 4_v1.dwg
 20-00531U / SDR

LEGEND / ABBREVIATIONS

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MONT 3 ELEV.=268.73'

3" BRASS DISK LOCATED FROM THE INTERSECTION OF HWY 105 AND HWY 149, WEST ±4700' TO THE PARKING LOT OF THE HERITAGE HOUSE RESTAURANT, WHICH IS LOCATED ON THE NORTH SIDE OF HWY 105.

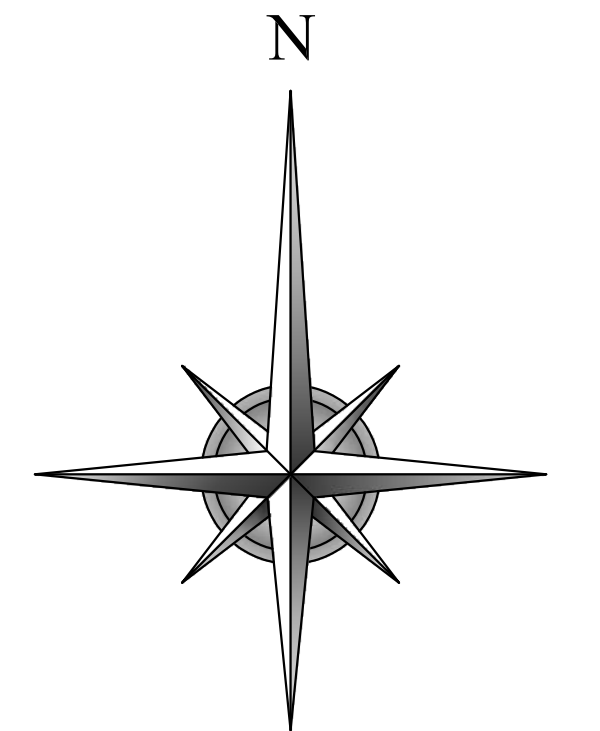
MONT 7 ELEV.=291.77'

3" BRASS DISK IS LOCATED IN THE CENTER OF MONTGOMERY ON THE SOUTH SIDE OF HWY 105. MARK IS IN FRONT (NORTH) OF GAS PUMPING AREA OF BROOKSHIRE BROTHERS GROCERY STORE, AS WELL AS ACROSS HWY 105(SOUTH) FROM 'THE OLDE SCHOOL HOUSE'.

BENCHMARK ○

BRASS DISK IN CONCRETE ELEV.=314.12'

BRASS DISK IN CONCRETE IN THE SOUTHEAST RIGHT-OF-WAY OF EMMA'S WAY LOCATED NORTH 29°13'51" WEST, A DISTANCE OF 2.19' FROM THE COMMON CORNER OF LOTS 1 AND 2, BLOCK 1, THE HILLS OF TOWN CREEK.

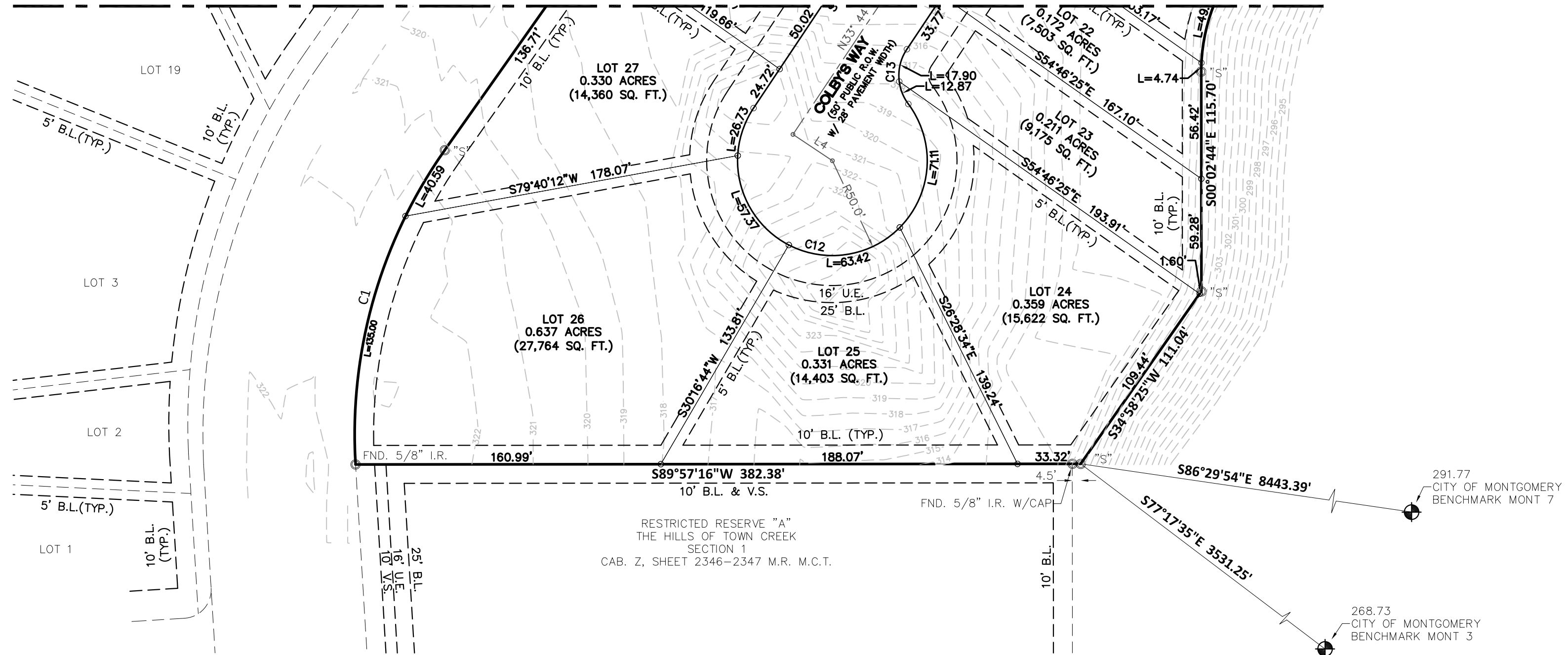


GRAPHIC SCALE



(IN FEET)
 1 inch = 50 ft.

MATCHLINE



LINE TABLE		
NO.	BEARING	LENGTH
L1	N 87°05'32" E	37.81'
L2	N 87°05'32" E	49.29'
L3	S 79°22'17" W	32.88'
L4	S 56°15'21" E	25.00'
L5	N 02°52'32" W	32.80'
L6	N 87°07'28" E	25.00'
L7	S 23°23'42" E	0.69'

CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	CHD. BRG.	CHORD
C1	175.59'	260.00	38°41'38"	N 15°50'59" E	172.27'
C2	296.60'	340.00	49°58'54"	N 10°12'24" E	287.28'
C3	34.08'	25.00	78°06'01"	S 53°51'15" E	31.50'
C4	338.68'	260.00	74°38'06"	N 49°46'29" E	315.24'
C5	163.74'	96.00	97°43'25"	N 51°46'06" W	144.60'
C6	78.92'	96.00	47°06'15"	S 55°49'11" W	76.72'
C7	54.14'	96.00	32°18'55"	S 16°06'41" W	53.43'
C8	39.29'	25.00	90°02'44"	N 80°13'13" E	35.37'
C9	39.25'	25.00	89°57'16"	N 09°46'47" W	35.34'
C10	38.62'	25.00	88°30'04"	S 10°30'23" E	34.89'
C11	39.52'	25.00	90°34'53"	S 79°57'08" W	35.53'
C12	218.63'	50.00	250°31'44"	N 88°28'47" E	81.65'
C13	30.77'	25.00	70°31'44"	S 01°31'13" E	28.87'
C14	255.51'	390.00	37°32'14"	N 15°53'35" E	250.96'
C15	271.89'	415.00	37°32'14"	S 15°53'35" W	267.05'
C16	251.84'	440.00	32°47'37"	N 18°15'53" E	248.41'
C17	29.27'	25.00	67°04'15"	N 35°24'12" E	27.62'
C18	219.75'	50.00	251°48'53"	N 56°58'07" W	81.00'

PRELIMINARY PLAT
 THE HILLS OF TOWN CREEK
 SECTION 4
 A SUBDIVISION OF
 8.1365 ACRES (354,425 SQ. FT.)
 BENJAMIN RIGBY LEAGUE, ABSTRACT 31
 MONTGOMERY COUNTY, TEXAS

30 LOTS 1 BLOCK
 APRIL 2020

SURVEYOR:
CORE
 LAND SURVEYING TBPLS REG NO. 10194560
 10210 GROGANS MILL ROAD, SUITE 120
 THE WOODLANDS, TX 77380
 T: 224.828.1208
 corelandsurveying.com

ENGINEER:
L SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 21123 EVA ST #200,
 MONTGOMERY, TX 77356
 (936) 647-0420

20-00443 HILLS OF TOWN CREEK SEC 4_v1.dwg

STATE OF TEXAS
COUNTY OF MONTGOMERY

That The Hills of Town Creek, LLC herein acting individually or through the undersigned duly authorized agents, does hereby adopt this plat designating described real property as the Hills of Town Creek Section 4, and does hereby make subdivision of said property according to the lines, streets, alleys, parks, and easements therein shown, and dedicate to public use forever all areas shown on this plat as streets, alleys, parks, and easements, except those specifically indicated as private; and does hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades and does hereby bind Owner, and Owner's successors and assigns to warrant and forever defend the title to the land so dedicated.

Owner hereby certifies that Owner has or will comply with all applicable regulations of the city, and that a rough proportionality exists between the dedications, improvements, and exactions required under regulations and the projected impact of the subdivision.

Where streets or alleys are dedicated for private use, such dedication shall include an easement covering the street area which permits the installation, operation and maintenance of water, sewer, gas, electric, telephone, cable, elevation or other such utility facilities by the city and other utilities lawfully entitled to provide service to the abutting property. The easement shall also provide a right of access to public agencies engaged in both routine and emergency public service including law enforcement, fire protection, medical response, inspection and code enforcement.

IN TESTIMONY WHEREOF, The Hills of Town Creek, LLC have caused these presents to be signed by _____, its _____ thereunto authorized, this _____ day of _____, 2020.

The Hills of Town Creek, LLC

By: _____

STATE OF TEXAS
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared _____, its _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed and in the capacity therein and herein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2020.

Notary Public in and for the State of Texas

Print Name: _____

My Commission expires: _____

That I Clemente Turrubiarres Jr., do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereof were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Montgomery, Texas.

Clemente Turrubiarres Jr.
Texas Registration No. 6657

CITY OF MONTGOMERY

I THE UNDERSIGNED, Engineer for the City of Montgomery, hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of the City as to which his approval is require.

By: _____
Chris Roznovsky, P.E.
City Engineer – City of Montgomery

This plat and subdivision has been submitted to and considered by the City Planning and Zoning Commission and the City Council of the City of Montgomery, Texas and is hereby approved by such Commission and Council.

Dated this _____ Day of _____, 2020

ATTEST:

By: _____
Sara Countryman
Mayor

By: _____
Nelson Cox
Chairman—Planning Zoning Commission

By: _____
Susan Hensley
City Secretary

I, _____, Clerk of the County Court of Montgomery County, Texas, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on _____, 2020, at _____ o'clock, ___M., and duly recorded on _____, 2020, at _____ o'clock, ___M., in cabinet _____, sheet _____, of record of _____ for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

By: _____
Mark Turnbull, Clerk County Court
Montgomery County, Texas

By: _____ Deputy

PRELIMINARY PLAT
THE HILLS OF TOWN CREEK
SECTION 4
A SUBDIVISION OF
8.1365 ACRES (354,425 SQ FT.)
BENJAMIN RIGBY LEAGUE, ABSTRACT 31
MONTGOMERY COUNTY, TEXAS

30 LOTS

1 BLOCK

APRIL 2020

SURVEYOR:



LAND SURVEYING TBPLS REG NO. 10194560

10210 GROGANS MILL ROAD, SUITE 120
THE WOODLANDS, TX 77380
T: 224.828.1208
corelandsurveying.com

ENGINEER:



21123 EVA ST #200,
MONTGOMERY, TX 77356
(936) 647-0420

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: October 6, 2020	Budgeted Amount: N/A
Prepared By: Dave McCorquodale	Exhibits: Site plan, site photo

Subject

Consideration and possible action on a proposed driveway expansion at 415 Houston Street, a City-designated Historic Landmark.


Description

The owner would like to add 25' to her existing driveway to accommodate two additional vehicles. The driveway currently has space for two cars. See the attached plan and photo for details.

Recommendation

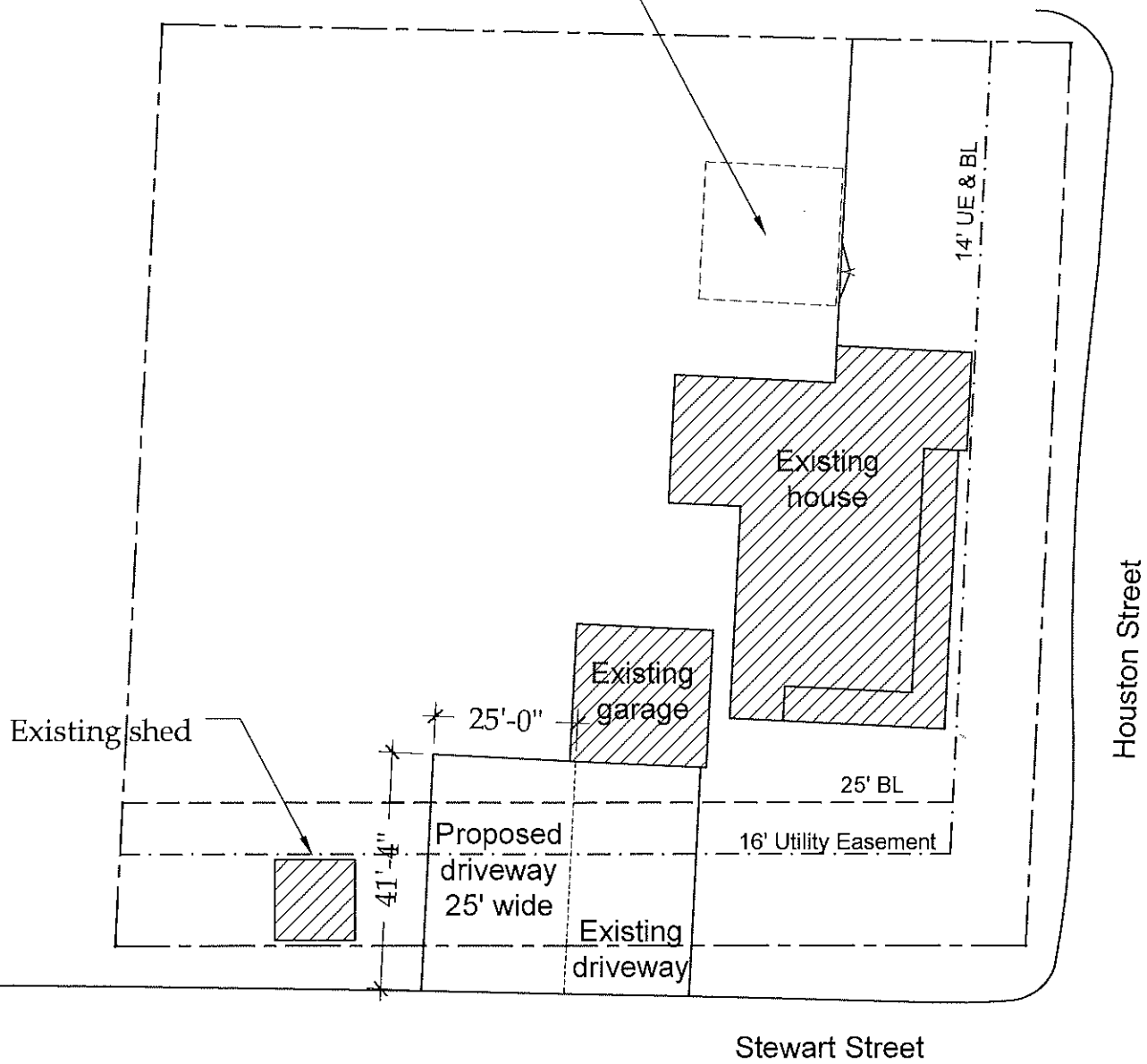
Consider the proposed driveway expansion and act as you see fit.

Approved By

Asst. City Administrator	Dave McCorquodale 	Date: 09/30/2020

Old Post Office

Future 24' x 24' carport with
concrete slab (approved by P&Z)



Proposed Driveway Expansion

Traver Residence
415 Houston Street
Montgomery, TX 77316
Scale: 1' = 30'



Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: October 6, 2020	Budgeted Amount: N/A
Prepared By: Dave McCorquodale	Exhibits: Sign application, site photo

Subject

Consideration and possible action on a proposed sign at 202 McCown St. Suite B in the Historic Preservation District.

Description

The business formerly operating as “Fare Thee Well” was sold and is now operating as “Naughty by Nature Apothecary”. The new owners plan to replace the existing sign with a sign of the same size and style (white background with black lettering) that reflects the new business name.

Recommendation

Consider the proposed sign and act as you see fit.

Approved By

Asst. City Administrator	Dave McCorquodale <i>DM</i>	Date: 09/30/2020



Sign Permit Application

CITY OF MONTGOMERY
 101 Old Plantersville Road
 Montgomery, Texas 77356
 936-597-6434
 permits@ci.montgomery.tx.us

WWW.MONTGOMERYTEXAS.GOV

SIGN PERMIT APPLICATION EXPIRES IN
 180 DAYS (NON-TRANSFERABLE)

TEMPORARY SIGN?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	Permit:	
PERMANENT SIGN?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>		
Pre-Existing OR New	Pre-Existing <input checked="" type="checkbox"/>	NEW <input type="checkbox"/>	Date:	
JOB ADDRESS:		BUSINESS NAME:		
202 McCown Ste B		Naughty by Nature Apothecary Cafe		
BUSINESS OWNER:		MAILING ADDRESS:		PHONE:
Kristin and Kyle Gyldenega		38618 Angel Oaks dr. Magnolia, Tx 77355		832-236-5365
APPLICANT:		MAILING ADDRESS:		TELEPHONE:
CONTRACTOR LICENSE (if electrical):				
IS THE SIGN IN THE HISTORIC PRESERVATION DISTRICT?		YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	THE SIGN ILLUMINATED?
				YES <input type="checkbox"/>
				NO <input checked="" type="checkbox"/>
SIGN PLACEMENT:			VALUATION:	
Face of building				
SIGN DESIGN & COLOR:				
4x8 rectangle. White background black letters				
SIGN TYPE			SIGN DIMENSIONS	
FREESTANDING MONUMENT SIGN <input type="checkbox"/>			SIGN HEIGHT <input type="text" value="4ft"/>	
BUILDING WALL SIGN <input type="checkbox"/>			SIGN WIDTH <input type="text" value="8ft"/>	
BANNER <input type="checkbox"/>			TOTAL SQ FT	
OTHER <input type="checkbox"/>			SETBACK	
			LOT LINEAR FOOTAGE	
<small>I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of law and ordinances governing this type of work will be complied with whether or not specified here in. The granting of a permit does not presume to give authority to violate or cancel the provisions of any state or local law regulating construction or the performance of construction.</small>				
NAME:		SIGNATURE:		
Kristin Gyldenega				
OFFICE USE ONLY				
APPROVED		TOTAL FEE:	\$	
DATE				
COMMENTS:				



Naughty by Nature

APOTHECARY,
COFFEE HOUSE,
DESSERTS AND GIFTS

Montgomery, Texas

FARE THEE WELL
HOME GIFTS BOUTIQUE
EST 2016 - MONTGOMERY, TX

NOW OPEN!

BILL
CLEVENGER
FOR MAYOR
A United Way Candidate



Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: October 6, 2020	Budgeted Amount: N/A
Prepared By: Dave McCorquodale	Exhibits: Special Use Permit application and information from applicant

Subject

Consideration and possible action on a Special Use Permit request for 14348 Liberty Street by Cornerstone Community Church.

Description

Cornerstone Community Church currently holds weekly religious services in the MHS cafeteria. The church has reached an agreement with the owners of 14348 Liberty St to lease the building pending approval of a Special Use Permit by the City.


The building is adjacent to The Cozy Grape restaurant, and is zoned B-Commercial. The Zoning Ordinance Table of Uses does not permit churches in Commercial districts without a Special Use Permit granted by City Council.

The Special Use Permit process requires P&Z to study the request and form a report concerning the effect of the proposed use on the comprehensive plan and on the character and development of the neighborhood. In addition, City Council is required to hold a Public Hearing on the matter before deciding whether to grant the request.

Recommendation

Consider the Special Use Permit and make a recommendation to City Council as you see fit.

Approved By

Asst. City Administrator	Dave McCorquodale 	Date: 09/30/2020



Special Use Permit

City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316
(936) 597-6434

Upon completion return application to dmccorquodale@ci.montgomery.tx.us

Contact Information

Property Owner(s): Yeya Property Holdings, LLC

Address: 7310 Foster Island Drive, Richmond, TX

Zip Code: 77406 Phone: 832-344-7490

Email Address: yeyaproperties@gmail.com

Applicants: _____

Address: _____

Zip Code: _____ Phone: _____

Email Address: _____

Parcel Information

Type of Business: _____

Legal Description: Montgomery Townsite 02, Tract 19, 20 Area B 33.9' x 110'

Street Address or Location: 14348 Liberty Street, Montgomery, TX 77356

Special Use Permit Request

Description of request: Utilized by Cornerstone Community Church

Submission Information

This application is to be submitted to the City of Montgomery Director of Planning & Development:

City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316

Additional Information

Date Application received by the City of Montgomery: _____

Owner(s) of record for the above described parcel: _____

Owner(s) of record for the above described parcel:

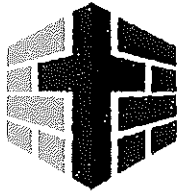
Signature: Richard Chandler Date: 09/18/2020

Signature: Joabel Chandler Date: 09/18/2020

Signature: _____ Date: _____

Note: Signatures are required for all owners of record for the property proposed for Special Use Permit. Attach additional signatures on a separate sheet of paper

<h2>Date Received</h2> <p>Office Use</p>	
--	--



CORNERSTONE
COMMUNITY CHURCH

RE: Cornerstone Community Church Special Use Application

Good Day Board- My name is Gerald Coleman, and I'm one of the elders at Cornerstone Community Church. We currently are meeting in the auditorium of Montgomery High School, since Sept of 2019.

I wanted to give you a little information of what our desires are for renting the building downtown. Besides using the building for our normal Sunday Morning and Wednesday night meetings, it is our desire to have the building open during the day and offer free coffee and internet to students and anyone else that desires to come and hang out in a clean, wholesome environment while they do their work or studies.

We plan to have half of the building set up with chairs for service and the other half set up as a coffee bar/lounge area with bistro tables, couches, and chairs to create a comfortable and trendy atmosphere.

We want to offer things to the community like open mic, sing-a-longs, and possibly karaoke occasionally as well.

Our Sunday morning services are from 10:00 -11:15-11:30. During this time most businesses haven't opened yet and many will not open at all on Sundays.

We have reviewed the amount of public parking spaces and there are more than enough public spaces to accommodate any growth that we would see. We would instruct all our attendees to not take any spaces that would interfere with the surrounding local businesses or use any parking that belongs to the businesses themselves.

In consideration of any high traffic festivals that fall on a Sunday, we have discussed not having our normal service, but having more of an open house that is open air and serves water and coffee to those that would like it.

Please don't hesitate to call/email me if you have any further questions/concerns that you'd like me to address.

Sincerely,

Gerald Coleman

C-281-732-0053

colemang@rushenterprises.com

Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: October 6, 2020	Budgeted Amount: N/A
Prepared By: Dave McCorquodale	Exhibits: Plans, details, and site images

Subject

Consideration and possible action regarding the following exterior modifications at the Wings Over Montgomery restaurant, located at 14335 Liberty Street in the Historic Preservation District:

- a) Wood deck approx. 5' x 26' x 1' ht on south side of building (existing)
- b) Metal fence approx. 50' long x 6' ht on back side of building (existing)
- c) Outdoor walk-in cooler approx. 6' x 6' x 8.5' ht on back of building (existing)
- d) Exterior front façade lighting above porch to illuminate wall sign (existing)
- e) Emergency generator located at back of building (proposed)

Description

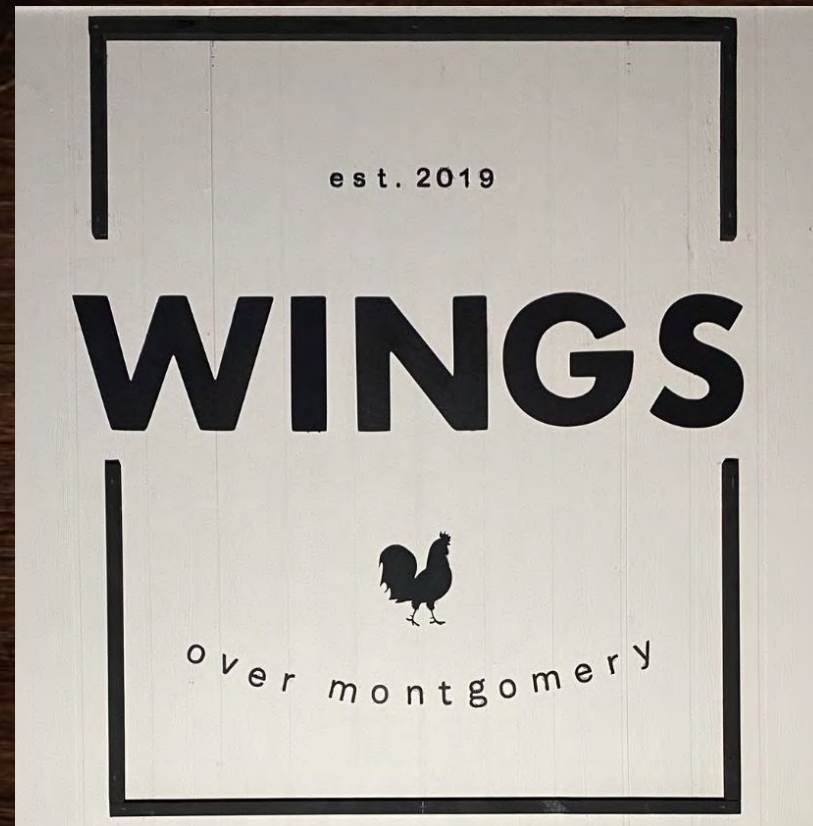
The City met with the property owners on Friday September 18th to discuss a path to get the business open and bring the ordinance violations into compliance by presenting them to P&Z for review. Attached is the information submitted by the owners for your consideration.

Recommendation

Consider the existing and proposed exterior modifications and act as you deem appropriate.

Approved By

Asst. City Administrator	Dave McCorquodale 	Date: 10/01/2020
--------------------------	---	------------------



Beautifying The City of Montgomery
Damon & Cindy Haynes
14335 Liberty St.
Montgomery, Tx 77356

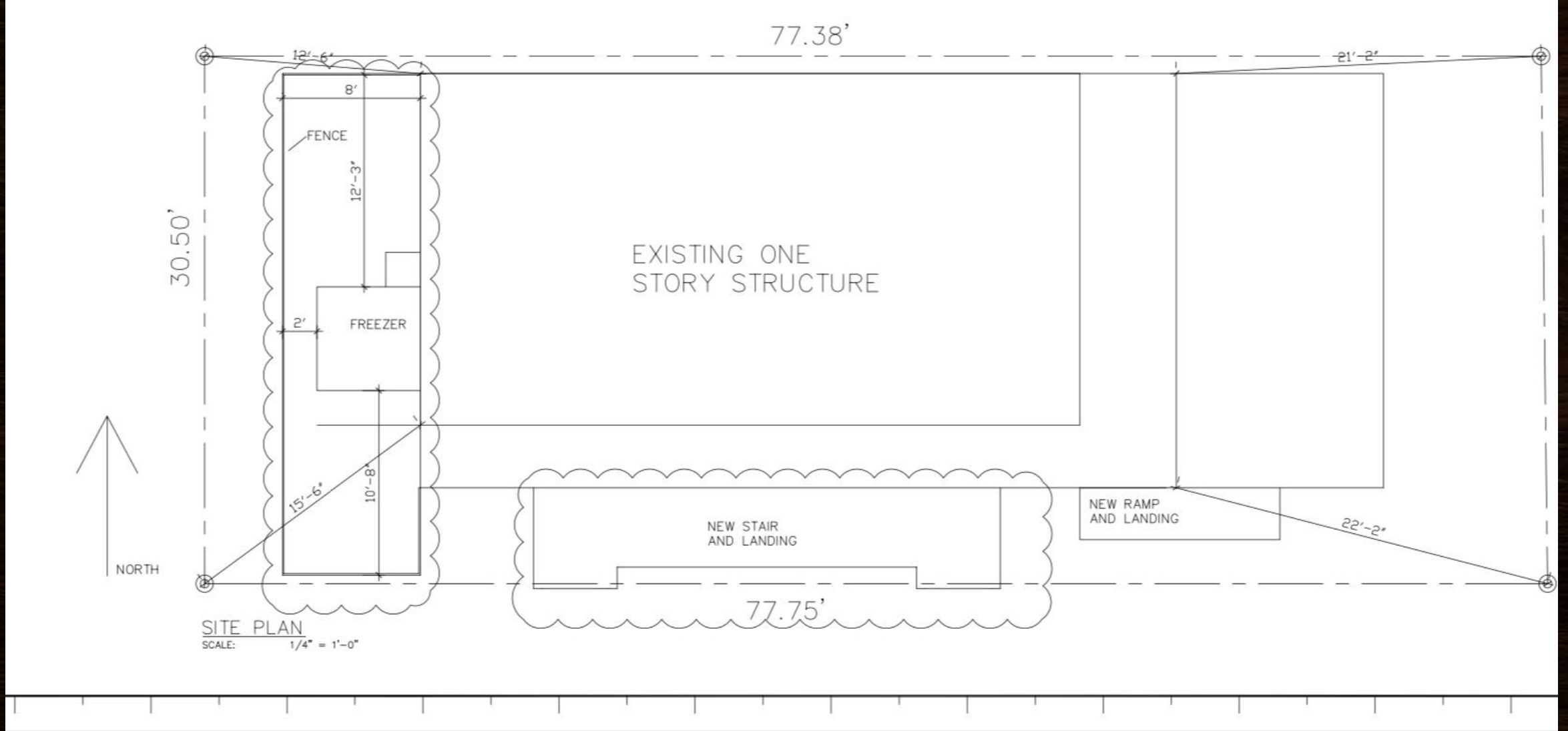
Wings Over Montgomery – Front View



Approved grease trap added deck cover for safety concerns.



Wings Over Montgomery



Wings Over Montgomery

H Architects
&
Engineers

H4Architects.com 281.528.8584
H4Engineers.com
25215 Oakhurst Drive
Spring, Texas 77380

ALL DRAWINGS AND SPECIFICATIONS ARE SUBJECT TO THE
REVISIONS AND CHANGES MADE BY THE ARCHITECT. THE
ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE
DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT
BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION
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RESERVED.

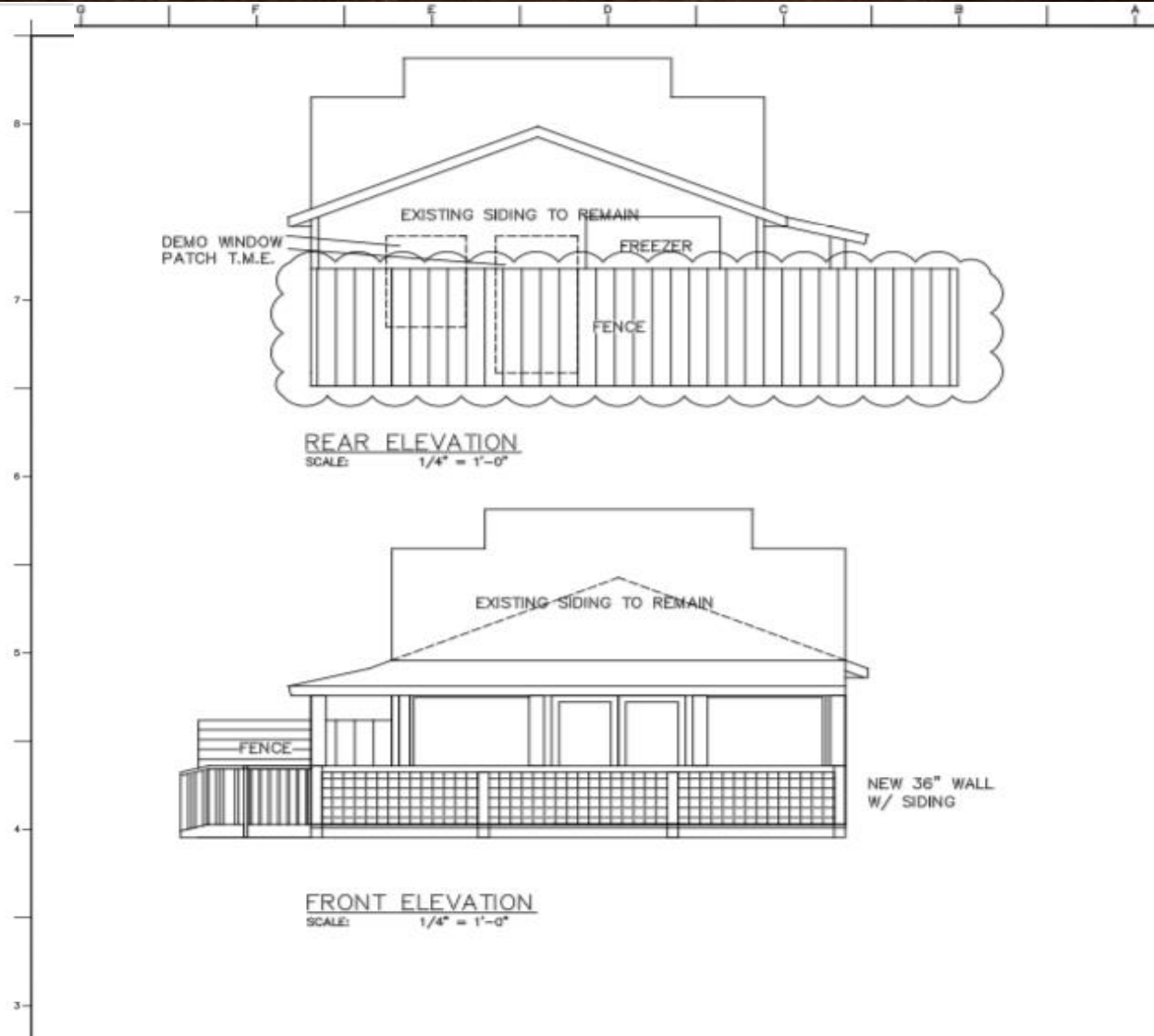
REAL



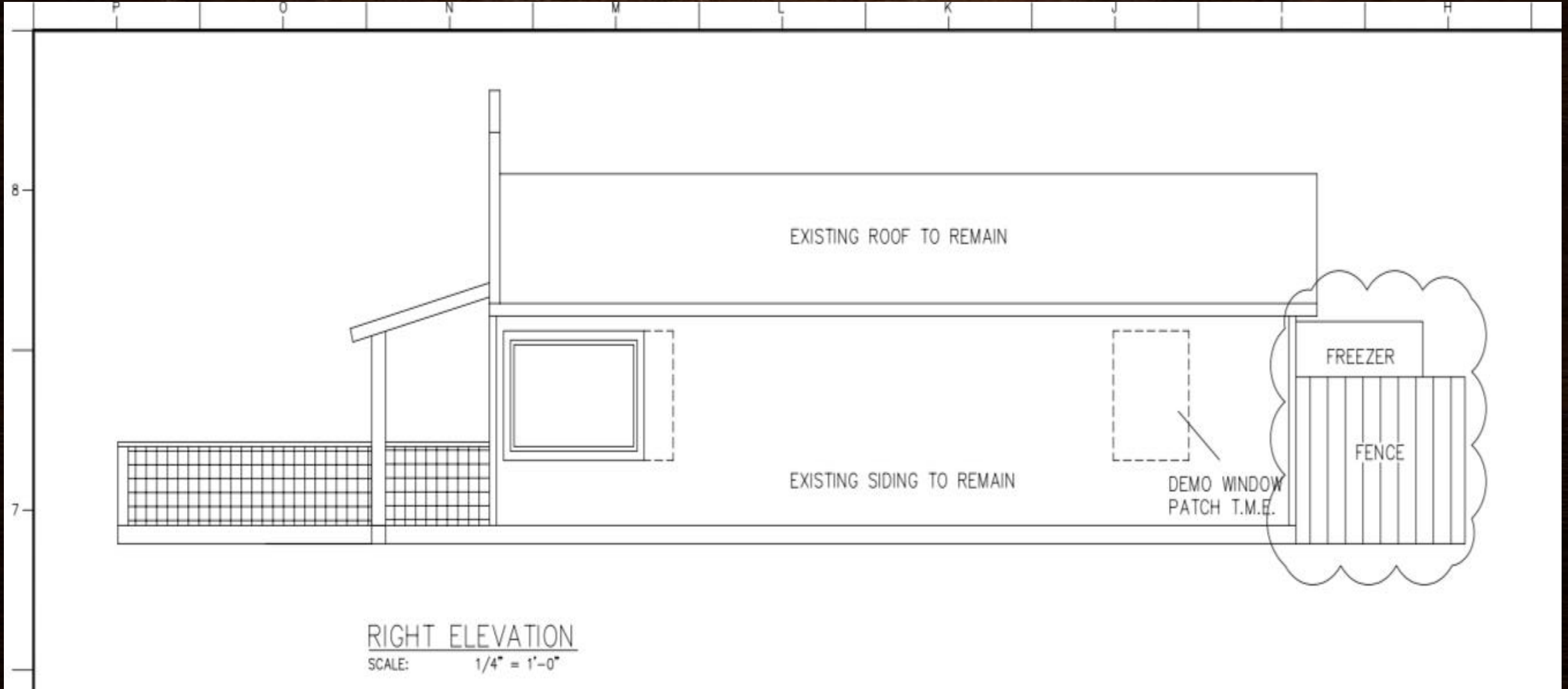
WINGS OVER MONTGOMERY

14395 LIBERTY ST.
MONTGOMERY, TEXAS, 77156

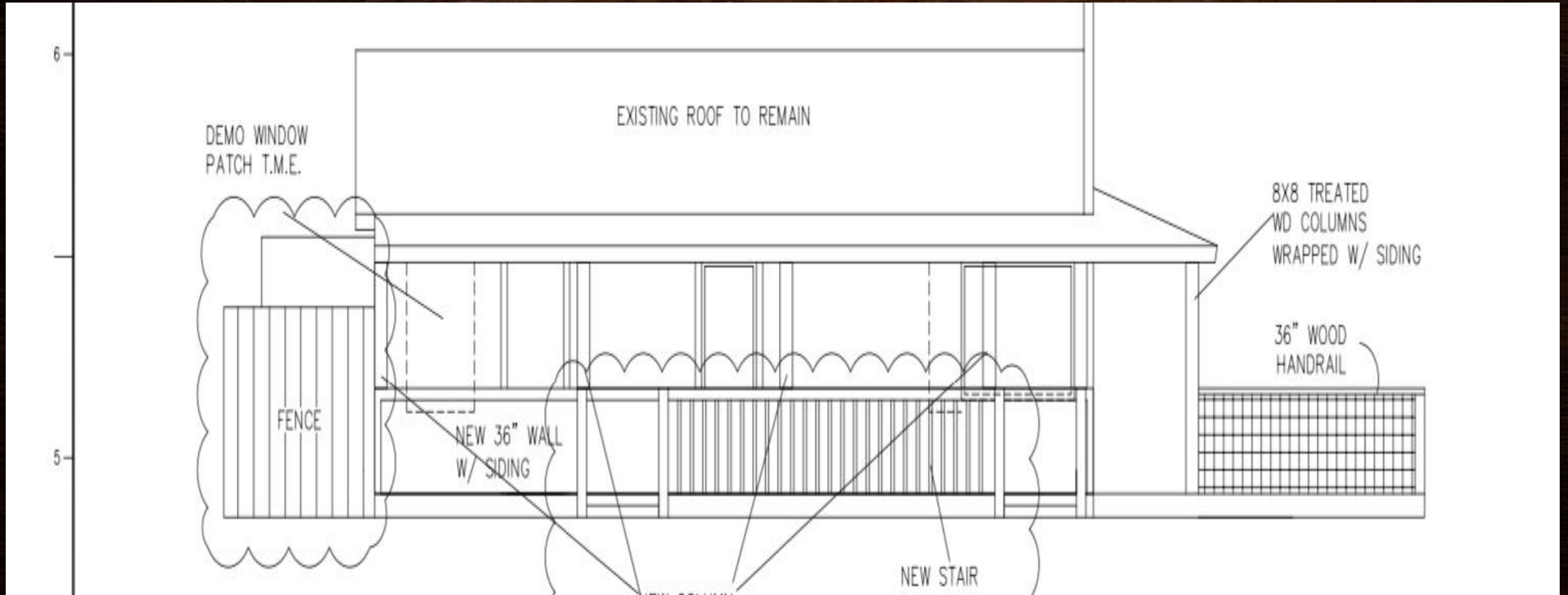
REVISION



Wings Over Montgomery



Wings Over Montgomery



Wings Over Montgomery



Wings Over Montgomery





Approval Requests

Metal Fencing

Walk-in Freezer

Side Deck – (Same color as front deck)

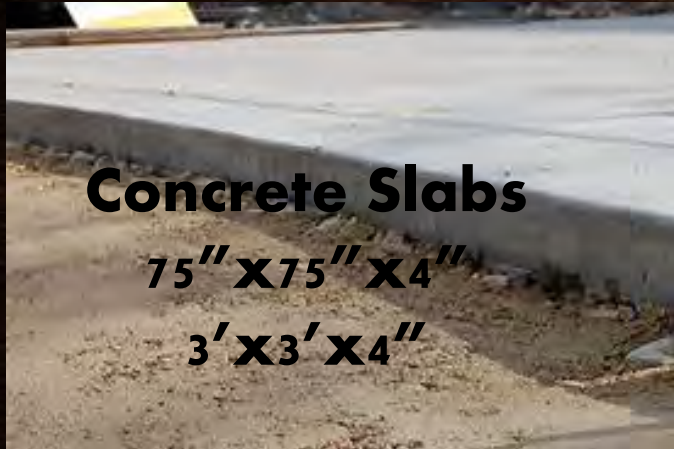
Black & White trim

Building lighting pointing on signage

Generator - Generac Protector® Series

Wings Over Montgomery – Walk-In Freezer

Nor-Lake KODF8766-C Kold Locker 6' x 6' x 8' 7"
Outdoor Walk-In Freezer
Item #: 596KDF8766



Nor-Lake Kold Locker 15 Minute Set-Up Demonstration

SPECS	
Width	72 Inches
Depth	72 Inches
Height	103 Inches
Door Width	26 Inches
Refrigeration Unit Width	40 1/2 Inches
Refrigeration Unit Depth	59 Inches
Height (with refrigeration unit)	128 Inches
Refrigeration Unit Height	25 Inches
Hertz	60 Hertz
Phase	1 Phase
Voltage	208/230
Compressor Location	Top Mounted
Door Style	Swing
Door Type	Solid
Features	LED Lighting
Horsepower	1 HP
Made in America	Yes
NSF Listed	Yes
Refrigerant Type	R-449a
Usage	Outdoor
With Floor	Yes

Wings Over Montgomery

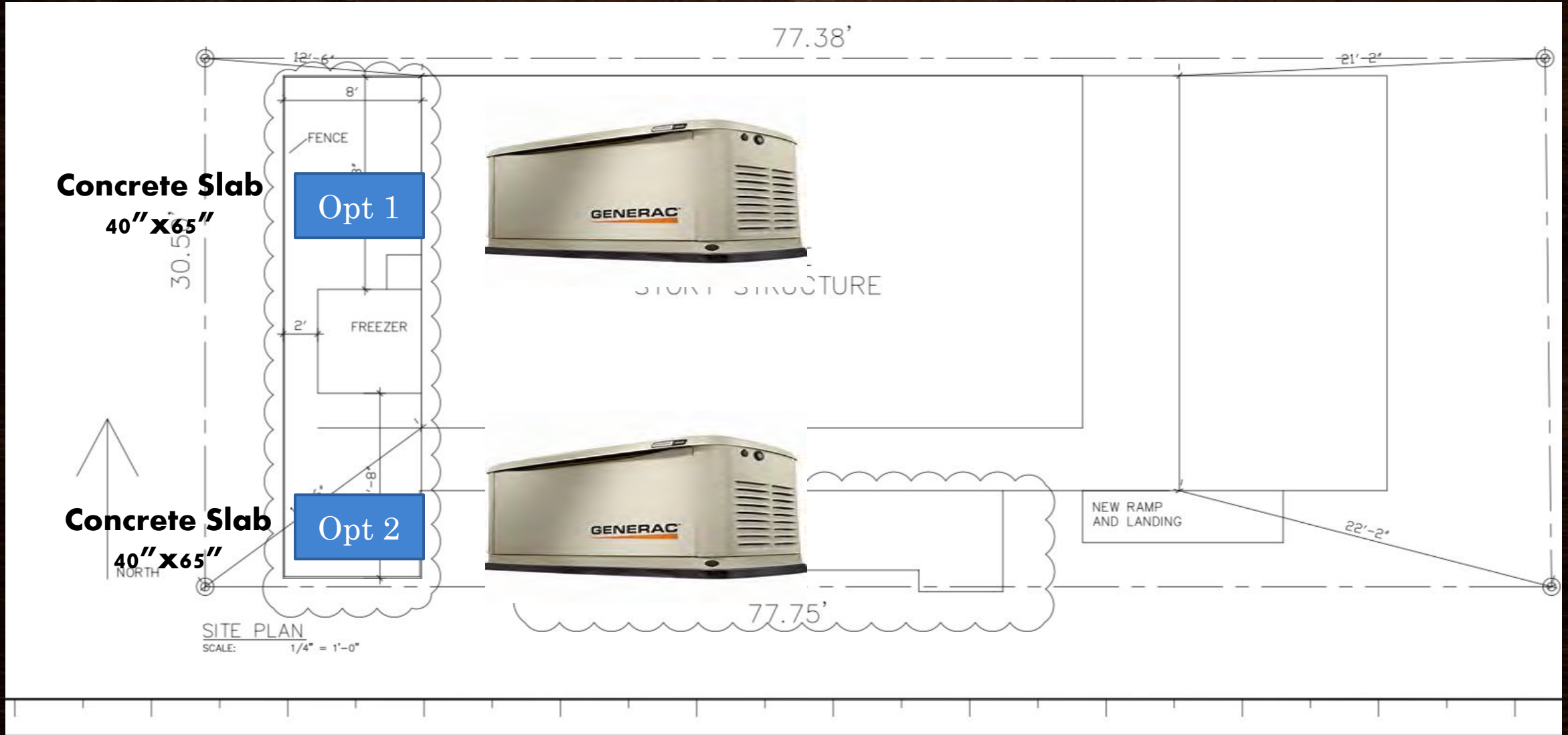
Voltage 120/240 Single-Phase
 Frequency 60 Hertz
 Rated Watts 25000 Watts
 Fuel Type LP/Natural Gas
 NG Power Capacity 25000 Watts
 LP Power Capacity 25000 Watts
 NG Fuel Consumption @ 50% Load 297
 ft³/hr
 NG Fuel Consumption @ 100% Load 430
 ft³/hr
 LP Fuel Consumption @ 50% Load 3.3
 gallons/hr
 LP Fuel Consumption @ 100% Load 4.7
 gallons/hr
 Rated Amps 104 Amps
 Decibel Rating @ 7m Learn More 59 Test (72
 Run) dbA
 Transfer Switch Automatic (Not Included)
 Battery Not Included
 Enclosure Aluminum
 Mounting Pad Concrete (Not Included)
 Cooling System Liquid Cooled
 UL Listed Yes
 Grade Type Emergency



Generac Protector® Series
 25kW Automatic Standby
 Generator
 (Aluminum)(120/240V
 Single-Phase)

Standby Generator
 Product Length
 62.2 Inches
 Product Width
 30.6 Inches
 Product Height
 38.6 Inches

Wings Over Montgomery Generac Generator – Placement Options Behind Metal Fence



Wings Over Montgomery – Signage is treated wood, Letters are made of wood. Building does have outside lighting.



Montgomery Planning and Zoning Commission
AGENDA REPORT

Meeting Date: October 6, 2020	Budgeted Amount: N/A
Prepared By: Dave McCorquodale	Exhibits: Plans, details, and site images

Subject

Consideration and possible action regarding the following exterior modifications at 504 Caroline Street in the Historic Preservation District:

- a) Phone booth (existing)
- b) Parking lot (existing)
- c) 3-ft ht wood picket fence (382 linear feet) (proposed)
- d) 6-ft metal privacy fence (90 linear feet) (proposed)
- e) 600 square foot cottage (proposed)
- f) 2nd story living area on main home above front porch (proposed)

Description

The City is working with the property owners to bring the property into compliance with various sections of the City Code. As you are aware, a parking lot was constructed without approval from P&Z and without approved development and construction plans. In addition to P&Z approval, the owner also needs to submit the following:


- 1. Development Application.
- 2. Escrow Agreement and Escrow Account funded.
- 3. Rezoning Application.
- 4. Development Plat.
- 5. Construction Plans for the parking lot.

The Commission may wish to approve some, all, or none of the requests. Alternatively, the Commission may issue approval contingent on some or all of the items above being submitted to the City. Lastly, the Commission can choose to take no action on any of the items until the items above are submitted and approved by the City.

Recommendation

Consider the existing and proposed exterior modifications and act as you deem appropriate.

Approved By

Asst. City Administrator	Dave McCorquodale 	Date: 10/02/2020
--------------------------	---	------------------



Damon & Cindy Haynes – Residential Home
504 Caroline St.
Montgomery, TX 77356

P&Z Meeting:

Carol Langley, Jeffrey Waddell, Nelson Cox, Bill Simpson, Britnee Ghutzman,

7/7 Approved Preliminary City Parking Plans -
16:20

4 Items Voted & Approved – Zoom Recorded

1. Repainting of the house -16:57 start
2. Glazing windows and caulking
- 3. Address any drainage and access issues**
4. Goal to stabilize house exterior and work slowly on inside – 17:10 end

Improving My Residential Home & Community...



Clogged/Broken Drainage replaced & Access Issues to Driveway to 504 Property on Pond St. (Before Pics)



Drainage replaced fixing access issues to 504 Property on Pond St. (After pics)



Access issues for Driveway, bricks, rubble, and trash removed



Drainage Improvement & access to my residential property on Pond St.



WWI – 504 Caroline St. with additional living area



WWI – 504 Caroline St. Cottage house



Southern Style House Plan 59039

GOEXP59039

600 Sq Ft, 1 Bedrooms, 1 Full Baths



Southern Style House Plan 59039

GOEXP59039



Southern Style House Plan 59039

GOEXP59039

600 Sq Ft, 1 Bedrooms, 1 Full Baths



Cottage Replacement –Front Area



504 Caroline access issues, driveway rutted up, dug up from approved grease trap, approved gas line, & work trucks (before pictures)



504 Caroline access issues improved to my property (after pictures)



Residential

The
Haynes Home
504 Caroline St.



Our home
With access
issues ie:
driveway



Approval Requests:

Wooden & Metal Fencing

Historical Yard Artwork-1st Phone Booth

Build Small Cottage next to existing home

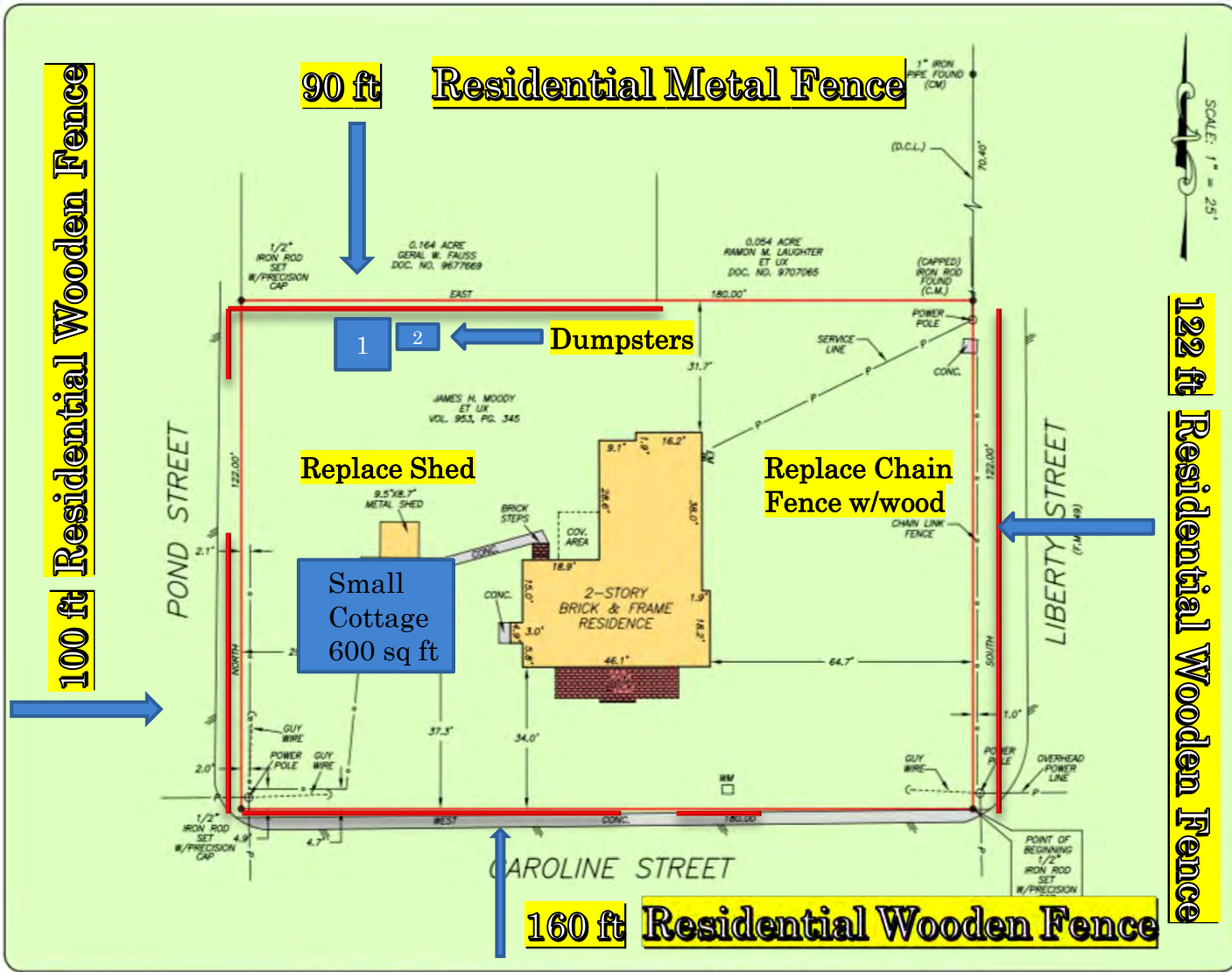
Dumpsters 8x8 & 4x4

Replaced Metal Shed 6x6

Remodel Porch -Existing House (See WWI Pic)

Replace AC, Plumbing

Residential Property Access driveway and drainage



THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS PER FIRM PANEL NO. 48330C 0200 G BMP REVISION: 08/18/2014 ZONE X BASED ONLY ON VISUAL EXAMINATION OF MAPS ENCLOSURES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY.

A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE RECORD BEARING: VOL. 953, PG. 345, M.C.D.U. DRAWN BY: MM/PR

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAN CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCUMBRANCES APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

TERRANCE MISH
PROFESSIONAL LAND SURVEYOR
NO. 4881
JOB NO. 20-01836
MARCH 12, 2020
REVISED: MARCH 18, 2020 (7C)



PRECISION
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FIRM NO. 10063700

Residential Access to property @ 504 Caroline St. and Pond St

