

MONTGOMERY PLANNING AND ZONING COMMISSION AGENDA
REGULAR MEETING OF MONDAY, OCTOBER 24, 2016, 6:00 P.M.
CITY HALL COUNCIL CHAMBERS 101 OLD PLANTERSVILLE ROAD,
MONTGOMERY, TEXAS.

CALL TO ORDER

VISITOR/CITIZENS FORUM

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. Commission may not discuss or take any action on any item, but may place the issue on a future agenda. The number of speakers along with the time allowed per speaker may be limited.

1. Consider and possible action regarding September 26, 2016 minutes
2. Consideration and possible action regarding Final Plat submission for Lake Creek Village, Section Two
3. Consideration and possible action regarding Preliminary Plat submission for Lake Creek Village, Section Three
4. Consideration and possible action regarding Building Permits for 960 Caroline Street and 938 Caroline Street -- QBS Custom Homes Inc.
5. Report regarding possible zoning changes throughout the City
6. Adjournment



Jack Yates, City Administrator

Posted this 21st day of October, 2016 at 330 a.m./(p.m) This facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary's office at 936-597-6434 for further information or for special accommodations



MINUTES OF REGULAR MEETING
September 26, 2016
MONTGOMERY PLANNING AND ZONING COMMISSION

CALL TO ORDER

Chairman Nelson Cox declared a quorum was present, and called the regular meeting to order at 6:15 p.m.

Present: William Simpson, Nelson Cox, Arnette Easley, Jeffrey Waddell and Carol Langley

Absent:

Also Present: Jack Yates, City Administrator
 Glynn Fleming, City Engineer

VISITOR/CITIZENS FORUM

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. Commission may not discuss or take any action on any item, but may place the issue on a future agenda. The number of speakers along with the time allowed per speaker may be limited.

No comments were made.

CONSIDERATION AND POSSIBLE ACTION

1. Discuss/take action regarding August 22, 2016 minutes.
 William Simpson moved to approve the minutes as presented. Jeffrey Waddell seconded the motion, the motion carried unanimously. (5-0)
2. Discuss/take action regarding sign permit for 304 Caroline Street – Amanda Hall
 Mr. Yates presented the information and advised that Ms. Hall was not present. Mr. Yates said that this would be a gentleman's grooming lounge, located next to the Cigar Bar.

William Simpson moved to approve the sign and colors, burgundy, black and tan, for the sign located at 304 Caroline Street. Jeffrey Waddell seconded the motion, the motion carried unanimously. (5-0)

3. Discuss/take action regarding sign for 304 John A. Butler Street – Bea Rouse

Mrs. Rouse was present to discuss her request for signage. Mrs. Rouse advised that the following changes have been made to the request:

- The wording on her son's sign would be on each side, with the logo in the center. The sign would be printed on both sides of the sign.
- The other sign located on the fence on the east side facing SH 105 would be larger.
- Ms. Rouse said that she wanted to amend the request, because at the top of the building she also wants to put another sign that would be two feet high that would be four (4) signs instead of the three (3) previously requested.

Mrs. Rouse said that her signs would go under her son's signs on the building. William Simpson asked to confirm that there would also be a sign on the fence and a street sign. Mrs. Rouse said that was correct. Carol Langley asked where the street sign would be located. Mrs. Rouse said that it was the same sign that has been located on the street, perpendicular to the end of the building.

Mrs. Rouse said that the free standing sign will be 4 foot x 8 feet and she will place one foot high signs on either side of the existing sign. Mrs. Rouse said that the street sign would be two-sided, for a total of four signs. Mrs. Rouse said that the sign trim would be black.

Mrs. Rouse reviewed the four (4) signs being requested would be as follows:

1. The free-standing, double sided, sign will be one foot in height and six or eight feet in width.
2. The rectangle sign on the fence, will be 3 feet x 4 feet.
3. The sign above the building will be 2 feet x 8 feet and located directly under the existing sign.

Carol Langley asked if the building had enough frontage to warrant having the requested signs. Mr. Yates advised that he would have to verify the information.

Jeffrey Waddell moved to approve the four (4) signs as presented. Arnette Easley seconded the motion, the motion carried unanimously. (5-0)

Carol Langley asked if they need to state that the color Mrs. Rouse has chosen to paint the fence and the trim was appropriate in the Historic District. Mr. Yates said that was correct.

William Simpson moved to approve the color scheme as presented for 304 John Butler. Carol Langley seconded the motion, the motion carried unanimously. (5-0)

4. Discuss/take action on requested variances for the proposed Villas of Mia Lago, Section Two development.

-Variance from required minimum lot width.

-Variance from required minimum lot area.

-Variance from required minimum side yard setback.

Mr. Fleming presented the information and advised he offered no objections to the requested variances, as they are a continuation of those previously approved for the adjoining Villas of Mia Lago, Section One.

Jeffrey Waddell asked for the location of Section One of the Villas of Mia Lago. Mr. Fleming said that it was just past the assisted living facility, on the northwest side of Lone Star Bend. Mr. Fleming said that Section Two will be located immediately west of the future right of way. Mr. Yates said that the building of Lone Star Bend is going to be accomplished fully by County Commissioner Meador. Mr. Yates said the extension will be part of the connection with Bois D'arc, which will be another entrance into the City.

Mr. Liberatore was present for the discussion, and said instead of a mirror image of Section One, Section Two, lots a are little larger to allow for 3-car garages. Jeffery Waddell said that there was a definite variation in the lots. Mr. Fleming said some of the lots are below

the requirement, while some exceed the requirements. Mr. Fleming stated they are providing adequate compensating greenspace as required by the Code.

William Simpson asked about the drainage and where the water was going to drain. Mr. Fleming said that there were existing culverts where Lone Star Bend terminates. Mr. Fleming said that those culverts will be maintained with the future extension of the road, and this development will drain through a series of culverts that will run west to east, under the future paving, and conveyed down the east side of the future road.

William Simpson asked whether it would drain onto any of the properties. Mr. Fleming said that it runs across a portion of the development that is platted as a drainage easement. Mr. Liberatore said that from there the water would go into a channel and drain into Lake Conroe. William Simpson said that he was asking because they had a large problem in another area with water. Arnette Easley asked if the capacity would be different for the drainage. Mr. Fleming said that it was still being reviewed. William Simpson said that Racetrack has a problem with drainage, so his concern is for the people that live downhill and will be affected. Williams Simpson said that everyone is pushing the homes closer together and there is nowhere for the water to go. Mr. Liberatore advised they had moved a lot of dirt into the development so they are in good shape to create drainage for the Estates of Mia Lago.

Mr. Fleming advised that the Code requires 10 feet on either side of the lot line, which totals 20 feet. This variance is to reduce that requirement to 5 feet on either side of the lot line.

Mr. Fleming said that he could not speak to what was done or decisions made prior to October 2014, but moving forward they apply a high degree of scrutiny to make sure development projects are not just Code compliant, and they are compliant with the Montgomery County Drainage Criteria that the City adheres to. William Simpson said that he wanted to voice his concern, because a lot of people are being affected in another area due to previous decisions.

Jeffrey Waddell asked about the compensating green space with Reserves A and B. Mr. Fleming advised that there was adequate compensating greenspace. Chairman Cox asked if the changes would be reflected on the final plat. Mr. Fleming said that was correct, and noted that the final plat will come before the Commission sometime in the future.

Jeffrey Waddell said that the home placement seemed like it was awfully tight, and asked if that had been done before. Mr. Fleming said that it had. Mr. Liberatore said that in Section Two they actually increased the lot sizes. Jeffrey Waddell asked to confirm that there would be a total of 10 feet between the homes. Mr. Fleming said he had confirmed there would be 10 feet between the homes with David Strauss.

After discussion, William Simpson moved to approve the requested variances for the Villas of Mia Lago, Section Two, as follows:

- Variance from required minimum lot width.
- Variance from required minimum lot area.
- Variance from required minimum side yard setback.

Arnette Easley seconded the motion.

Discussion: Chairman Cox asked to confirm that the Commission would see this information again for final approval. Mr. Fleming said that was correct, and stated that this information will go to City Council tomorrow night for further consideration. Mr. Fleming said that, per the City Code, the Final Plat submission will come along with construction drawings, water/sanitary sewer and paving. Mr. Fleming said that he expected it would be another month or more before the Commission would receive this information again.

The motion carried unanimously. (5-0)

5. Discuss/take action regarding approval of Final Plat submission and accompanying construction plans for SH-105 Retail Center.

Mr. Fleming said that he reviewed the Final Plat and accompanying construction drawings and offered no objections to them. Mr. Fleming stated that the construction drawings have been filed with the City Secretary and are available for viewing. Mr. Fleming said that before the plat is put into Mylar format, there are a few typographical errors that will be corrected.

Carol Langley asked how people will enter the piece of property. Mr. Fleming said that the property shows curb cuts on Lone Star Parkway and SH 105. Mr. Fleming said that there is an existing access easement off of SH 105. Mr. Fleming said that they do meet the minimum spacing requirements for the driveway.

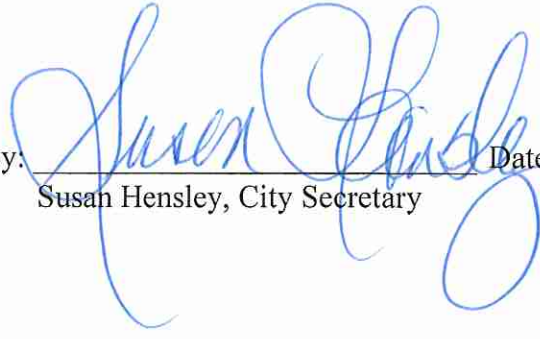
Jeffrey Waddell said that now that Mr. Fleming is getting more accurate data from FEMA, with regarding to the 100 year flood plain, and now they are including the 500 year Flood Plain. Jeffrey Waddell said that in the 100 year flood plain, he guessed that they could not put in fill dirt, but with a 500 year flood plain he would not think that would be an issue. Mr. Fleming said that per the City Code, the developer was required to show the extent, if any, the 100 year flood plain encroaches on the property. Mr. Fleming said that the parcel that wraps around behind this development and comes around the front, on SH 105, has some low areas, where a large portion is in the flood plain or floodway. Mr. Fleming said as that tract develops, they will pay very close attention, and they will have more work to do in terms of fill, permits, etc., in order to develop that property.

After discussion, Jeffrey Waddell moved to approve the Final Plat submission and accompanying construction plans for SH-105 Retail Center. William Simpson seconded the motion, the motion carried unanimously. (5-0)

ADJOURNMENT

Arnette Easley moved to adjourn the meeting at 6:46 p.m. William Simpson seconded the motion, the motion carried unanimously. (5-0)

Submitted by: _____ Date Approved: _____



Susan Hensley, City Secretary

Chairman Nelson Cox

ITEM #2
AGENDA REPORT

Meeting Date: October 24,2016	Budgeted Amount:
Department:	
Prepared By: Jack Yates	Exhibits: Memo from Engineer
Date Prepared: October 20, 2016	

Subject

Final Plat submission for Lake Creek Village Section Two

Discussion

The engineers memo is attached

Recommendation

Recommend approval of Final Plat of Lake Creek Village Section Two to city Council

Approved By

Department Manager		Date:
City Administrator	Jack Yates	Date: October 20, 2016



8701 New Trails Drive, Suite 200
The Woodlands, Texas 77381-4241
Tel: 281.363.4039
Fax: 281.363.3459
www.jonescarter.com

October 20, 2016

The Planning and Zoning Commission
City of Montgomery
101 Old Plantersville Rd.
Montgomery, Texas 77356

Re: Submission of Final Plat
Lake Creek Village, Section Two
City of Montgomery

Dear Mayor and Council:

We reviewed the Final Plat submission for the referenced development on behalf of the City of Montgomery. Our review was based on The City of Montgomery's Code of Ordinances, Chapter 78, Section 61 and any other applicable chapters. We offer no objection to the plat and recommend the Commission approve the plat as submitted.

If you have any questions or comments, please contact, Glynn Fleming and or myself.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ed Shackelford', with a long horizontal flourish extending to the right.

Ed Shackelford, P.E.
Engineer for the City

EHS/gef:lr2

P:\PROJECTS\W5841 - City of Montgomery\W5841-1009-00 Lake Creek Village, Section 2\Letters\FINAL PLAT Lake Creek Village, Section Two.doc

Enclosures cc: The Honorable Mayor and City Council – City of Montgomery
Mr. Jack Yates – City of Montgomery, City Administrator
Ms. Susan Hensley – City of Montgomery, City Secretary
Mr. Larry Foerster – Darden, Fowler & Creighton, LLP, City Attorney
Mr. Michael Glezman, RPLS – Glezman Surveying, Inc.

**CERTIFICATE OF SUBSTANTIAL COMPLETION FOR
CONSTRUCTION OF WATER, SANITARY SEWER, AND DRAINAGE
CITY OF MONTGOMERY, TEXAS**

October 25, 2016

OWNER: City of Montgomery
101 Old Plantersville Road
Montgomery, TX 77316

CONTRACTOR: Randy Roan Construction, Inc.
6052 N. FM 1486
Montgomery, TX 77356

CONTRACT: Lake Creek Village, Section Two
LeFco Investments, Inc.
Job No. 1739

Gentlemen:

We have observed the subject project constructed by the **CONTRACTOR** and find it to be substantially complete in accordance with the approved plans and specifications. The project was periodically observed during construction by our field project representative.

We recommend that the **OWNER** issue the **CONTRACTOR** a Certificate of Acceptance of the Work, and that final payment be made to the **CONTRACTOR**. We also recommend that the Contractor's guarantee warranty period of 1 year begin October 25, 2016.

Sincerely,



Ed Shackelford, PE
Engineer for the City



8701 New Trails Drive, Suite 200, The Woodlands, Texas 77381
TBPE Registration No. F-439

CERTIFICATE OF ACCEPTANCE

Mr. Philip LeFevre
780 Clepper Street, Suite 100
Montgomery, TX 77356

Re: Construction of Water, Sanitary Sewer, and Drainage
Lake Creek Village, Section Two
Montgomery, Texas

Mr. LeFevre,

This is to certify that the **CITY OF MONTGOMERY** accepts the referenced improvements on the basis of the Certificate of Substantial Completion issued by our City Engineer, and understands that a warranty guarantee shall cover a period of one (1) year beginning October 25, 2016.

By: _____

Mr. Jack Yates
City Administrator, City of Montgomery

Approved by City Council on _____ 20____

EHS/gef:lr2

P:\PROJECTS\W5841 - City of Montgomery\W5841-1009-00 Lake Creek Village, Section 2\Letters\Certificate of Acceptance Lake Creek Village Section Two.docx

Enclosures: N/A

cc/enc.: The Honorable Mayor and City Council – City of Montgomery
Ms. Susan Hensley – City of Montgomery, City Secretary
Mr. Larry Foerster – Darden, Fowler, & Creighton, LLP, City Attorney
Mr. Ed Shackelford, P.E. – Jones & Carter, Inc., City Engineer
Ms. Lisa D. Roan – Randy Roan Construction, Inc.

AGENDA REPORT

Meeting Date: October 24,2016	Budgeted Amount:
Department:	
Prepared By: Jack Yates	Exhibits: Memo from Engineer
Date Prepared: October 20, 2016	

Subject

Preliminary Plat submission for Lake Creek Village Section Three

Discussion

The engineers memo is attached

Recommendation

Approval of Preliminary Plat of Lake Creek Village Section Three

Approved By

Department Manager		Date:
City Administrator	Jack Yates	Date: October 20, 2016



8701 New Trails Drive, Suite 200
The Woodlands, Texas 77381-4241
Tel: 281.363.4039
Fax: 281.363.3459
www.jonescarter.com

October 20, 2016

The Planning & Zoning Commission
City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316

Re: Submission of Preliminary Plat
Lake Creek Village, Section Three
City of Montgomery

Commission Members:

We have reviewed the referenced preliminary plat as prepared by Mr. Michael Glezman, R.P.L.S. and find it to be in keeping with the submission criteria set forth in the City of Montgomery's Code of Ordinances. We have returned a plat review letter along with redlined comments to Mr. Glezman and copies of each are enclosed for your review. We offer the recommendation that should the Commission approve the preliminary plat as submitted, we will coordinate with Mr. Glezman to ensure that all review comments are addressed prior to submission of a final plat.

If you have any questions or comments, please contact, Glynn Fleming and or myself.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ed Shackelford', with a long horizontal flourish extending to the right.

Ed Shackelford, P.E.
Engineer for the City

EHS/gef: lr2

P:\PROJECTS\W5841 - City of Montgomery\W5841-0900-00 General Consultation\2016\P&Z Reports\10-24-2016\Lake Creek Village, Section Three, Preliminary Plat Review-P&Z Opinion.doc

Enclosures: Lake Creek Village, Section Three-Preliminary Plat Submission Review Letter
Lake Creek Village, Section Three -Preliminary Plat Submission Review Comments

Cc/enc: The Honorable Mayor and City Council, City of Montgomery
Mr. Jack Yates – City of Montgomery, City Administrator
Ms. Susan Hensley– City of Montgomery, City Secretary
Mr. Larry Foerster – Darden, Fowler & Creighton, City Attorney
Mr. Michael Glezman, R.P.L.S. – Glezman Surveying, Inc.



8701 New Trails Drive, Suite 200
The Woodlands, Texas 77381-4241
Tel: 281.363.4039
Fax: 281.363.3459
www.jonescarter.com

October 20, 2016

Mr. Michael Glezman, R.P.L.S
Glezman Surveying, Inc.
P.O. Box 708
Montgomery, Texas 77356

Re: Plat Review (Preliminary)
Lake Creek Village, Section Three
City of Montgomery

Mr. Glezman

We reviewed the referenced preliminary plat submission on behalf of the City of Montgomery (the "City"). Our review was based on The City's Code of Ordinances, Chapter 78, Section 61 and any other applicable chapters. The results of our review are summarized in the attached document.

Please resubmit the attached checklist along with a revised preliminary plat, showing the required revisions on a clean copy for review and approval.

If you have any questions or comments, please contact, Glynn Fleming and or myself.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ed Shackelford', written over a white background.

Ed Shackelford, P.E.
Engineer for the City

EHS/gef: lr2

C:\Users\GEF\Desktop\PRELIMINARY PLAT Lake Creek Village, Section Three.doc

Enclosures cc: The Honorable Mayor and Council – City of Montgomery
Mr. Jack Yates – City of Montgomery, City Administrator
Ms. Susan Hensley – City of Montgomery, City Secretary
Mr. Larry Foerster – Darden, Fowler & Creighton, LLP, City Attorney



Lake Creek Village, Section Three
The City of Montgomery

Reviewed by Glynn Fleming of Jones & Carter Inc. on 10/20/2016.

Sheet 1 of 1:

1. General:

- a. Provide a cover sheet which includes the necessary dedicatory language, signature blocks, etc.
Addressed: Yes ___ No ___ Comments _____
- b. Provide title letter or tax certificate as defined in Sec. 78-62(f) of the City's Code of Ordinances.
Addressed: Yes ___ No ___ Comments _____
- c. Please verify submission of required preliminary plat fee.
Addressed: Yes ___ No ___ Comments _____

2. New Features Inside of the Subdivision:

- a. There shall be a side yard on each side of the lot having a width of not less than ten-feet (10'). Clarify this is the intent per Note No. 6.
Addressed: Yes ___ No ___ Comments _____
- b. Lone Star Parkway is designated by the City as a "Major Thoroughfare". As such Reserve "B" requires a of 35-foot building setback.
Addressed: Yes ___ No ___ Comments _____
- c. Reserve "B" is restricted to commercial use. As such setback which abut existing residential in Section Two and proposed residential in Section Three must be 25-feet and note the required visual barrier.
Addressed: Yes ___ No ___ Comments _____
- d. City approved plans for Section Two indicate western boundary Reserve "A" is to be platted as a 40-foot Drainage Easement.
Addressed: Yes ___ No ___ Comments _____
- e. Show and label existing temporary turnaround as shown in City approved drawings for Section Two.
Addressed: Yes ___ No ___ Comments _____

NOTES:

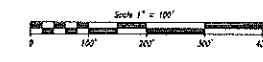
- Scale: 1"=100'
- All corners are set 3/4" from true with survey cap marked "MONTGOMERY 1822" unless otherwise noted.
- This property lies within Zone 21, area determined to be within 1000-Year Floodplain as shown on FEMA Flood Insurance Risk Map, Community Number 481483, Map Number 4888802000, with an effective date August 18, 2014.
- All street right-of-ways are 50' (50') feet in width unless otherwise noted.
- All street widths shall be a minimum of twenty-eight (28') feet wide.
- All utility lines and structures shown on this plat are to be installed in accordance with the City of Montgomery Code and Montgomery Department of Public Works.
- All easements shown on this plat are to be installed in accordance with the City of Montgomery Code.
- Property subject to restrictions as recorded under Clerk's File Number 2004-013811 Final Plat Property Records of Montgomery County, Texas.
- Property subject to City of Montgomery Right-of-Way as recorded under Clerk's File No. 2437970 of the Real Property Records of Montgomery County, Texas. (Restrictive Easement)
- Dimensions derived from GSI using LEICA DISTANCE 810, MINVA, 8000 2013A, and tied to "MONT 5" and "MONT 3," CITY OF MONTGOMERY MONUMENTS.
- Through easements:
 - R.L. Right-of-Way
 - D.E. Drainage Easement
 - M.E. Meter Line Easement
 - E.E. Easement
 - A.E. Aerial Easement
 - R.O.W. Right-of-Way
 - C.P. No. Clerk's File Number
 - CMNT. Civil Records of Montgomery County, Texas
 - MPNT. Map Records of Montgomery County, Texas
 - RPNT. Real Property Records of Montgomery County, Texas
 - GRANT. Grant Records of Real Property of Montgomery County, Texas

CLARIFY: THERE IS TO BE A 10-FOOT SETBACK ON EACH SIDE OF A SIDE LOT LINE.

CURVE	STATION	PC	PVI	PT	CROSS BEARING	CROSS DISTANCE
C1	1742.00	1753.97	1779.74	1792.92	N 87°31'13" E	312.73
C2	1846.00	1854.13	1880.59	1893.79	S 57°38'58" E	358.38
C3	1946.00	1954.42	1980.75	1993.95	S 57°41'19" W	432.23
C4	2046.00	2054.31	2080.72	2093.92	S 57°41'59" W	482.02
C5	2146.00	2153.33	2180.70	2193.90	S 58°48'21" E	158.15
C6	2246.00	2253.67	2280.66	2293.85	E 67°31'53" E	309.21
C7	2346.00	2353.07	2380.45	2393.64	E 67°34'37" E	271.71
C8	2446.00	2452.26	2480.14	2493.33	S 12°50'49" E	223.32
C9	2546.00	2551.45	2580.13	2593.32	N 83°35'47" W	245.49
C10	2646.00	2650.64	2680.02	2693.21	S 82°34'37" W	113.37
C11	2746.00	2750.00	2780.00	2793.00	N 82°34'37" W	113.37
C12	2846.00	2850.00	2880.00	2893.00	N 82°34'37" E	113.37
C13	2946.00	2950.00	2980.00	2993.00	S 82°34'37" E	113.37
C14	3046.00	3050.00	3080.00	3093.00	S 82°34'37" E	113.37

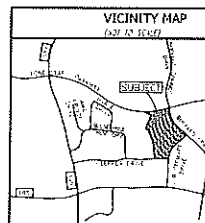
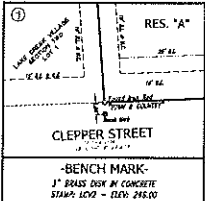
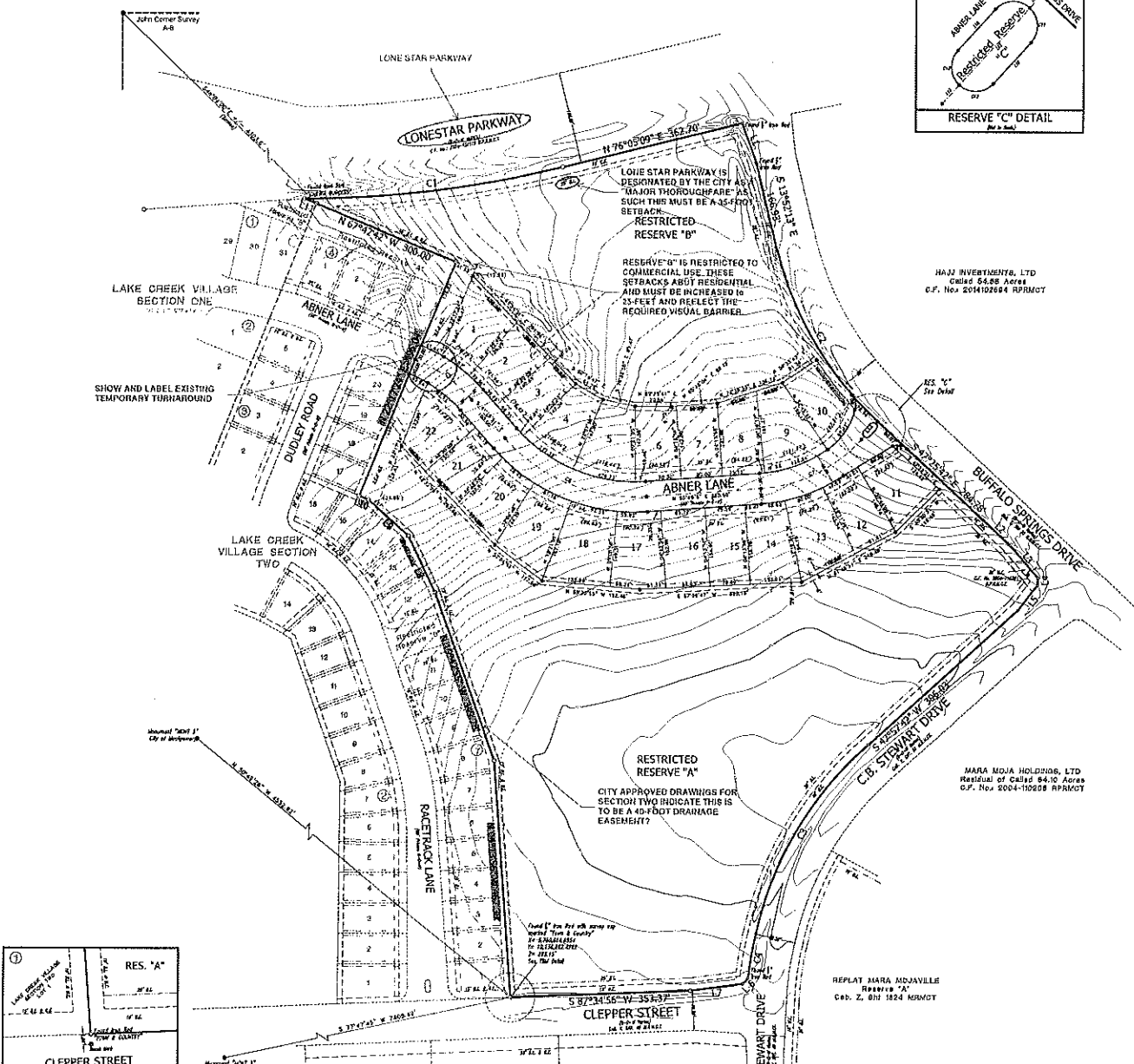
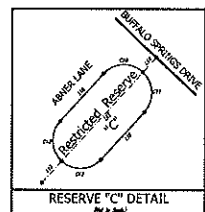
LINE	BEARING	DISTANCE
L1	S 27°32'42" E	83.68
L2	S 27°32'42" E	72.89
L3	S 41°11'18" E	84.53
L4	S 57°41'59" W	11.54
L5	S 57°41'59" W	61.19
L6	S 43°10'13" W	15.43
L7	S 52°32'29" W	15.27
L8	N 82°35'29" W	12.84
L9	N 82°35'14" W	107.22
L10	N 82°35'14" W	12.84
L11	N 82°35'29" W	15.27
L12	N 82°35'29" W	25.69
L13	N 82°34'37" E	48.50
L14	S 82°34'37" W	48.50
L15	S 82°34'37" W	48.50
L16	S 82°34'37" W	48.50
L17	N 82°34'37" E	18.41

LOT	AC. TO	AREA SQ. FT.
1	0.4445	3,319
2	0.4445	3,319
3	0.4445	3,319
4	0.4445	3,319
5	0.4445	3,319
6	0.4445	3,319
7	0.4445	3,319
8	0.4445	3,319
9	0.4445	3,319
10	0.4445	3,319
11	0.4445	3,319
12	0.4445	3,319
13	0.4445	3,319
14	0.4445	3,319
15	0.4445	3,319
16	0.4445	3,319
17	0.4445	3,319
18	0.4445	3,319
19	0.4445	3,319
20	0.4445	3,319
21	0.4445	3,319
22	0.4445	3,319



- PROVIDE A COVER SHEET WHICH INCLUDES ALL NECESSARY DEDICATORY LANGUAGE, SIGNATURE BLOCKS, ETC.
- PROVIDE TITLE LETTER OR TAX CERTIFICATE AS DEFINED IN SEC. 78-02(f) OF THE CITY'S CODE OF ORDINANCES.
- PLEASE VERIFY SUBMISSION OF REQUIRED PRELIMINARY PLAT FEE.

RESERVE	DESCRIPTION	ACREAGE
A	Particled to commercial use	15.485 Acres (671,527.43 sq. ft.)
B	Particled to commercial use	8.833 Acres (380,258.14 sq. ft.)
C	Particled to storage	8.011 Acres (345.63 sq. ft.)



PRELIMINARY PLAT LAKE CREEK VILLAGE SECTION THREE

A RESIDENTIAL SUBDIVISION OF 30.6076 ACRES
IN THE JOHN CORNER SURVEY, A-8
MONTGOMERY COUNTY, TEXAS
22 LOTS, 1 BLOCK, 3 RESERVES

October, 2016

OWNER
LECO INVESTMENTS, LLC
740 CLEPPER STREET, SUITE 100
MONTGOMERY, TEXAS 77131

DATE: 10/18/2016
BY: [Signature]

Surveyed and Platted Pursuant to 1907
GLEZMAN SURVEYING, INC.
1100 SW 4th Street, Montgomery, Texas 77134
Tel: 409-723-2000
Fax: 409-723-2000
www.glezmansurveying.com

ITEM #4
AGENDA REPORT

Meeting Date: October 24,2016	Budgeted Amount:
Department:	
	Exhibits: letter of submission from QBS, Plat showing location of 960 and 938 Caroline Street, building Plans for 960 and 938 Caroline Street
Prepared By: Jack Yates	
Date Prepared: October 20, 2016	

Subject

Building Permit request for 960 Caroline St. and 938 Caroline St.

Discussion

QBS has an approved subdivision that is included in the Historic District of the city-- therefore the building must be approved by the Planning Commission. Both buildings, to my mind, fit the neighborhood style.

Recommendation

Approval of Building permits for 960 and 938 Caroline Street. They

Approved By

Department Manager		Date:
City Administrator	Jack Yates	Date: October 20, 2016



RE: Lots 7,8

960 Caroline St

938 Caroline St

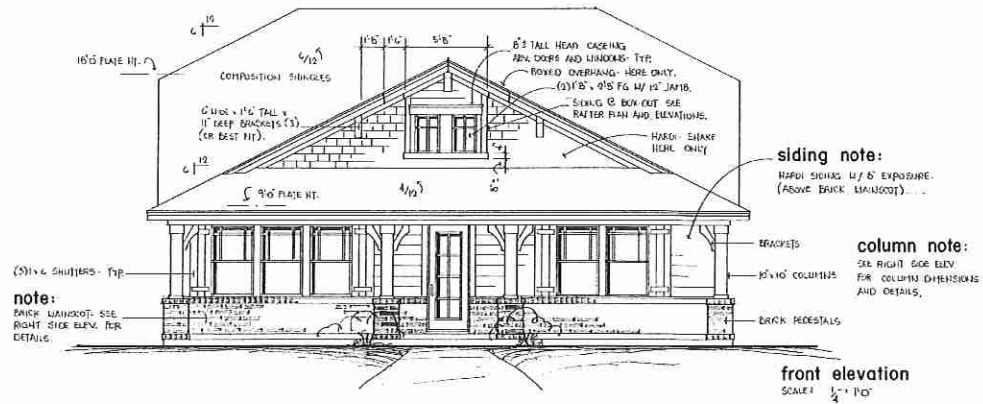
Several older homes in and around the City of Montgomery exhibit the Craftsman bungalow style. Producing the 4 principle sub-types as we have started in the community of Westside At The Park: front gabled, side gabled, and hipped roof we can recreate the feel and flavor of the early nineteen hundreds. With the use of the varied porch columns, shutters, railings, sidings and brick each home can be distinctive and personalized to each homeowners' taste while still exhibiting the harmony of the style which generates such a deep affection among its inhabitants and lookers on. We are asking the committee to approve the next two beautiful single family homes located on Caroline St. These homes remain consistent with the aforementioned style that we have begun creating at Westside At The Park.

Sincerely

Damon Scott

QBS Custom Homes Inc.

Lot #7 Caroline St.



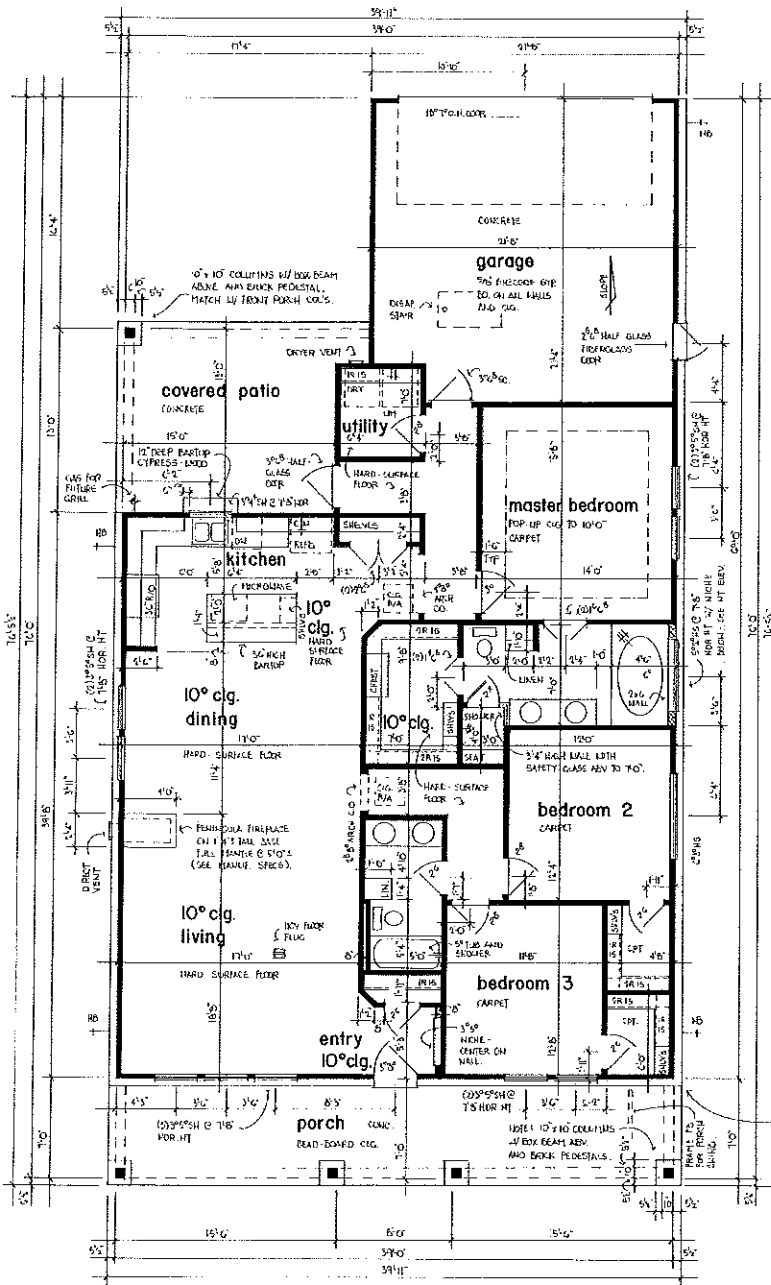
LOT 7 SHEPHERD STREET, HOUSTON, TEXAS

QBS Custom Homes, Inc.

QBS Custom Homes, Inc.

COPYRIGHT KARL VOENKEL
JHD HOUSE INC.
51 N. AUSTIN ROAD WAY
THE WOODLANDS, TEXAS 77380
03-01-16

03-01-16
04-20-16



Unless Otherwise Noted

- 1 Carpet floors.
- 2 All disappearing stairs shall be minimum of 2'2" x 3'0" with minimum clearance of 3'0".
- 3 Locate gas water heater in attic above lead bearing partition in pan with relief drain line to outside. Installation must comply with manuf. instructions and all applicable codes.
- 4 Provide 2" wide walkway (if/when) from attic access to water heater, not to exceed 20' to water heater on 3/7 platform.
- 5 _____ windows _____ glaze. Glaze configuration may vary from those shown.
- 6 _____ ceiling down _____ ceilings up.
- 7 _____ doors down _____ doors up.
- 8 _____ doors down _____ doors up.
- 9 GFI outlets near sinks, wet areas, in garage, and all outside WP outlets.
- 10 Health Material to be non-combustible 3/8" minimum thickness, 20" minimum depth, 8" minimum to each side of opening.
- 11 All exhaust and plumbing vents to vent through flat roof.
- 12 All egress doors ready operable from the side which egress is to be made without the use of a key or special knowledge or effort.
- 13 All glazing within hazardous locations shall have safety glass in compliance with IRC Section R308 (IRC 2000).
- 14 Gyps. Board walls and ceilings.
- 15 All angles 45 degrees.
- 16 All bedroom windows to be 44" A.F.F. (max) 24" high x 20" wide (min) opening with 5.7 sq. ft. net clear opening.
- 17 Smoke detectors require 110v connection to house wiring and battery backup. Location to comply with IRC 2000.
- 18 R-13 wall insulation (2x4 walls).
- 19 R-10 ceiling insulation.
- 20 R-10 sloped ceiling insulation.

NOTE:
ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

Baths

- 1 GFI 110 volt outlets @ all vanities as per plan.
- 2 All bathroom fans to provide 6 air changes per hour.
- 3 Provide one toilet paper holder and a minimum of 1 towel bar per bath.
- 4 All glass at tubs and showers tempered safety glass and must comply with IRC 2000.
- 5 Shower stalls and tub/puch shower heads walls to be finished with non-absorbent surface to a height of not less than 72" above drain and over concrete backer board.

square footages

LIVING AREA	8 0 9
PORCH	2 7 3
GARAGE	4 0 0
COVERED PATIO	2 1 4
TOTAL	17 1 6

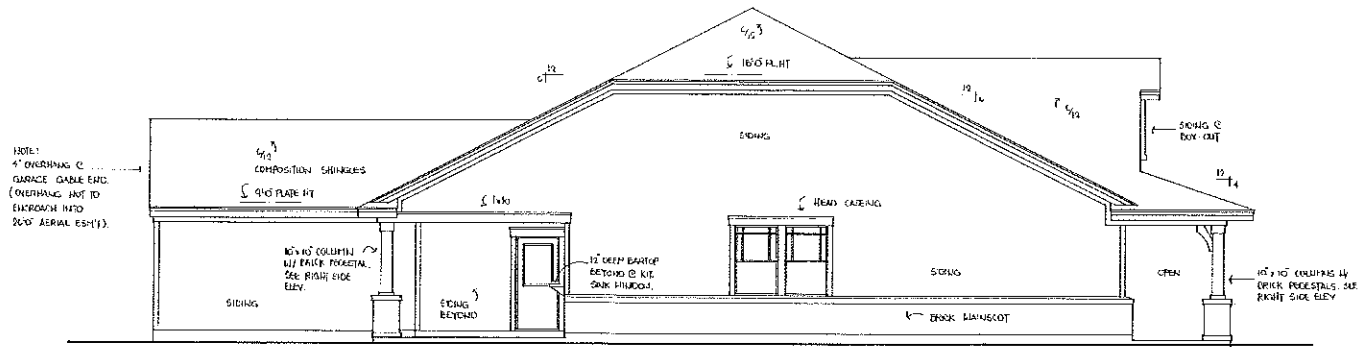
option:
8" tall doors throughout.

brick wainscot
BRICK WAINSCOT -
SEE ELEVATIONS FOR DETAILS

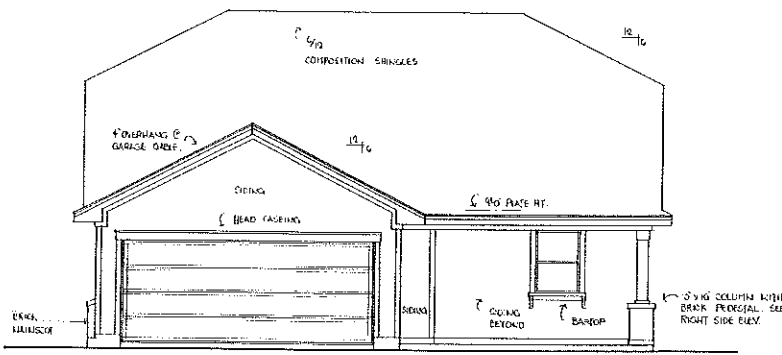
COPYRIGHT EARL YODER
JHJ HOUSE LLC
51 N. AUSTINWOOD WAY
THE WOODLANDS, TEXAS 77380

floor plan

SCALE: 1/4" = 1'-0"
03-03-16
04-06-16

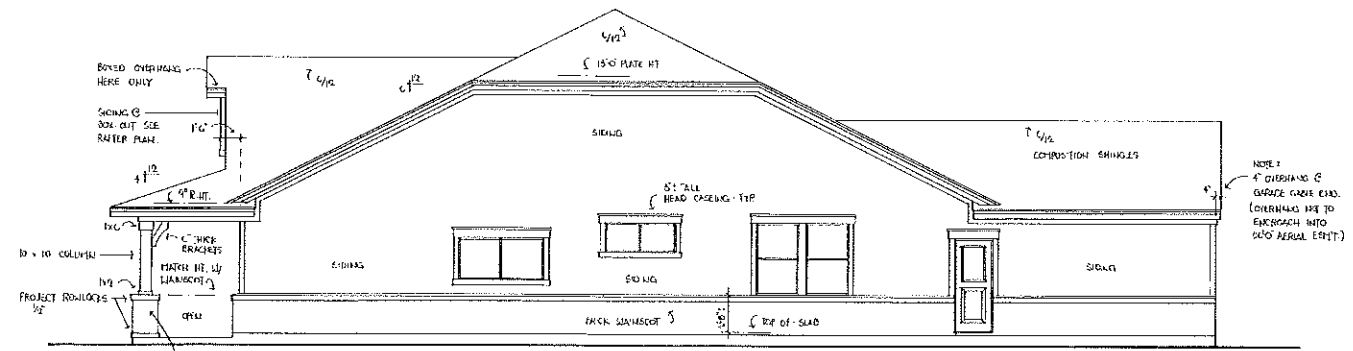


left side elevation

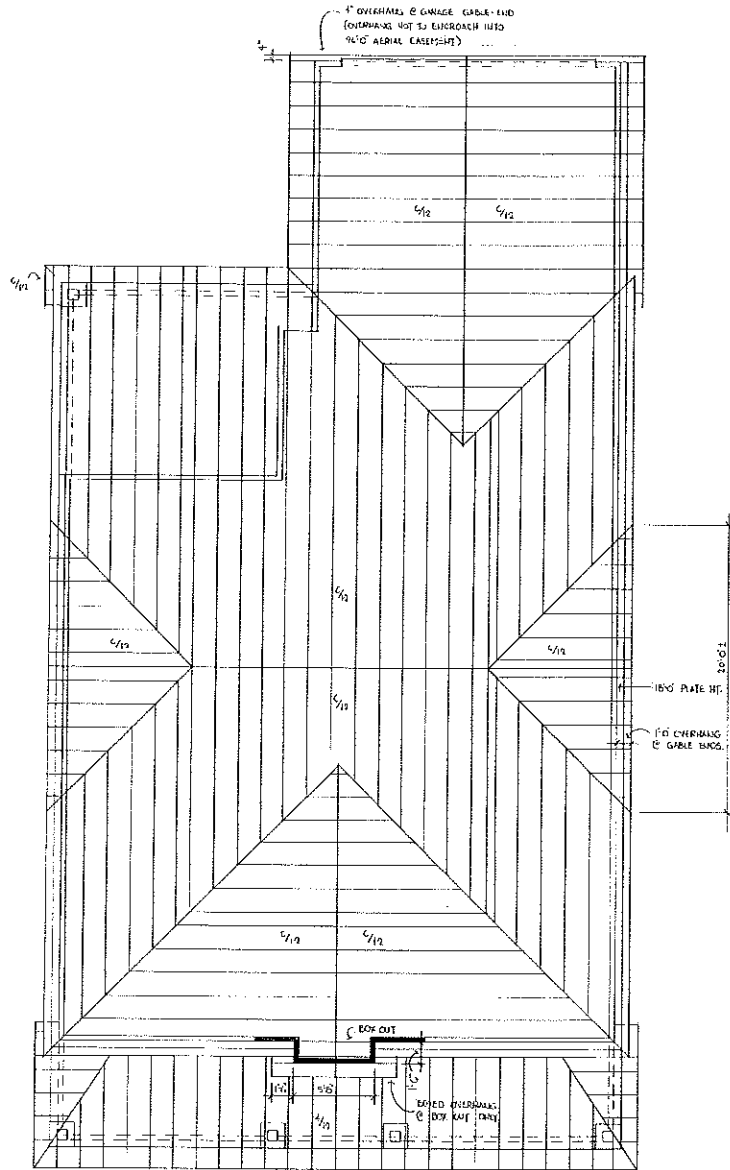


rear elevation

elevations
SCALE: 1/4" = 1'-0"

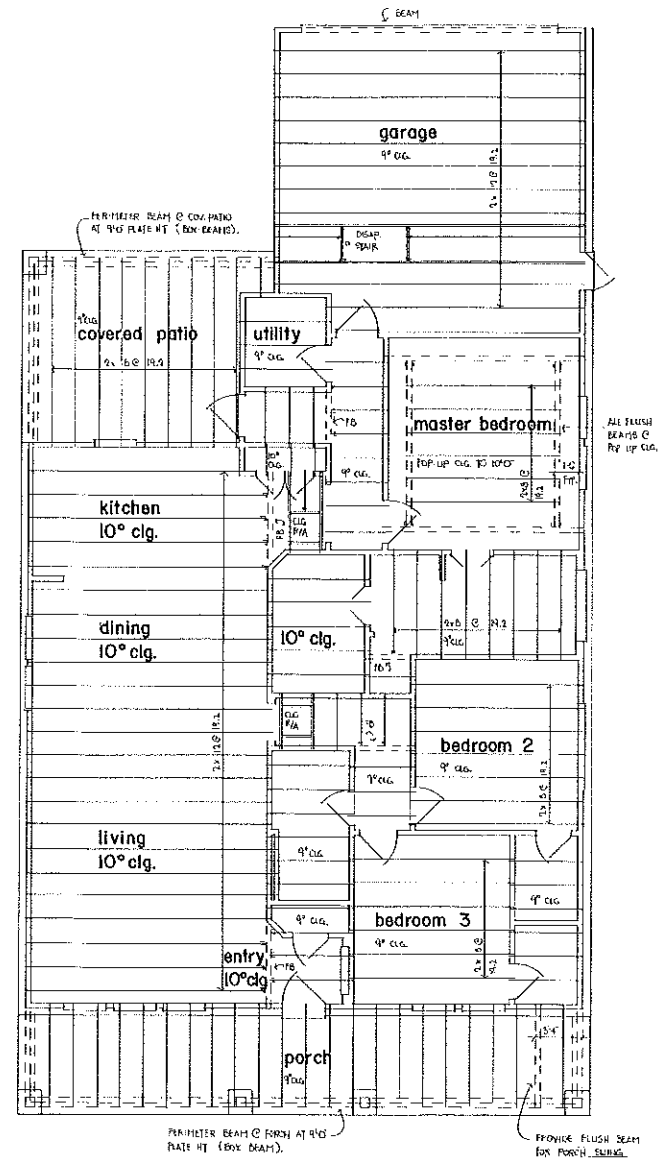


right side elevation



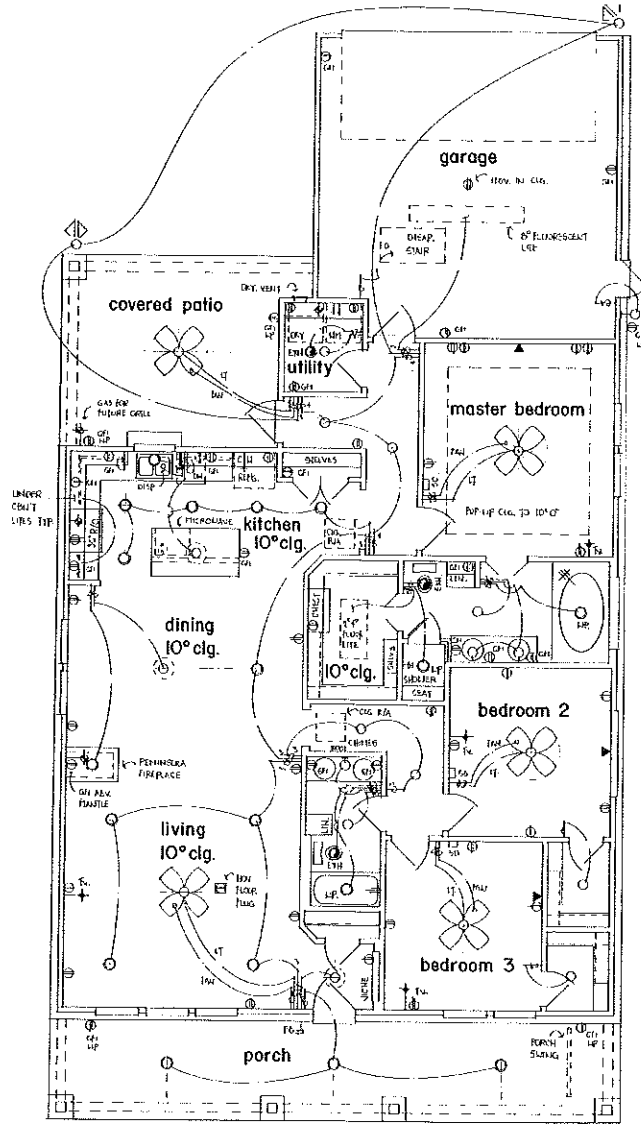
rafter plan
SCALE: 1/4" = 1'-0"

NOTE: UNLESS OTHERWISE NOTED, ALL MATERIALS TO BE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.



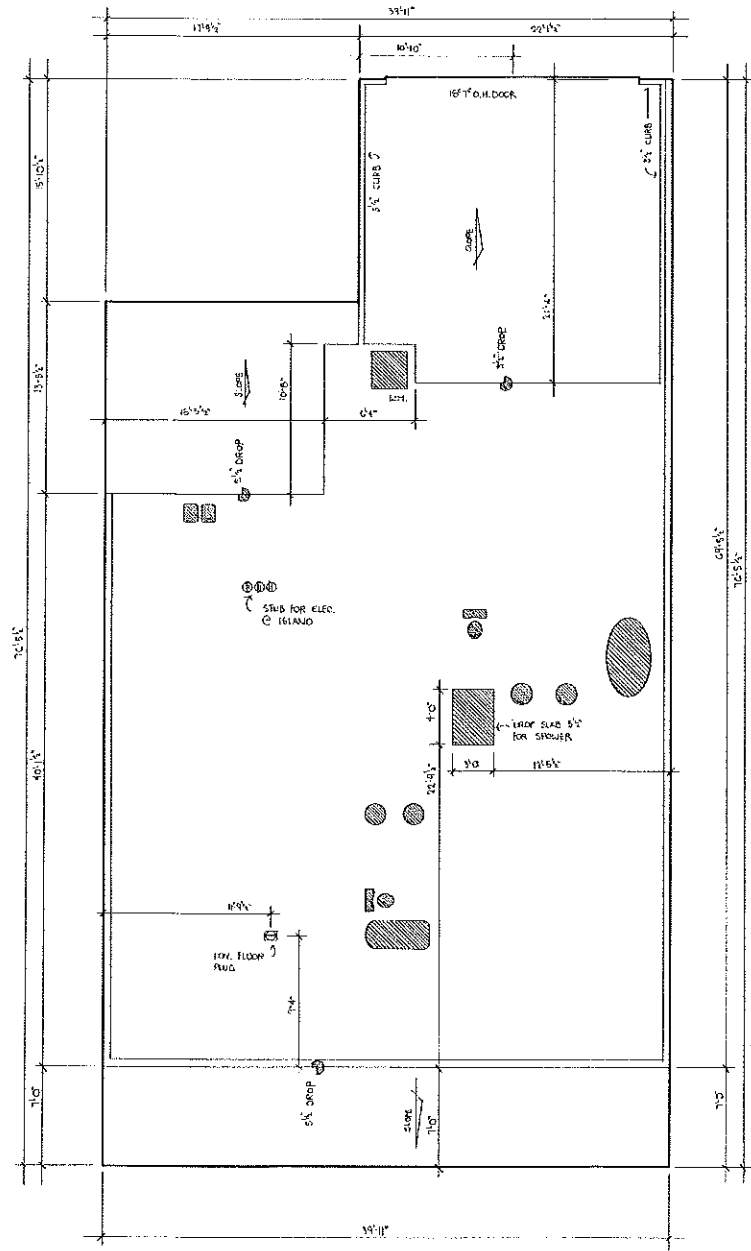
framing plan
SCALE: 1/4" = 1'-0"

NOTE: UNLESS OTHERWISE NOTED, ALL JOISTS TO BE 2x6 @ 16" O.C. @ 16" O.C. UNLESS NOTED OTHERWISE.
FB: FLUSH BEAM



electrical plan
SCALE: 1/4" = 1'-0"

- Legend
- ⊕ 110V. ELEC. OUTLET
 - ⊕ 110V. FLOOR OUTLET
 - ⊕ TELEPHONE JACK
 - ⊕ TELEPHONE JACK
 - ⊕ FLUSH MOUNT LIGHT FEATURE
 - ⊕ RECESSED CAN LIGHT FEATURE
 - ⊕ WALL MOUNT AND CEG. MOUNT SMOKE DETECTORS
 - ⊕ EXHAUST FAN
 - ⊕ PUSH BUTTON FOR DOOR BELL
 - ⊕ BRACKET LIGHT OR STRIP LIGHT - RE. FLOOR PLAN
 - ⊕ CEILING FAN WITH LIGHT
 - ⊕ CEILING FAN WITHOUT LIGHT
 - ⊕ 1/2 WOT 110V. ELEC. OUTLET
 - ⊕ 220V. ELEC. OUTLET
 - ⊕ GAS
 - ⊕ EXTERNAL LIGHT
 - ⊕ FLUORESCENT LIGHTS
 - ⊕ HANGING FEATURE
 - ⊕ WALL BOUNCE
 - ⊕ PIN-POINT ROD SPOT LT.
 - ⊕ DOUBLE FLOOD LIGHT.



NOTE: ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

SEE ARCHITECT'S DRAWINGS FOR BEAMS AND BEARING W.G.

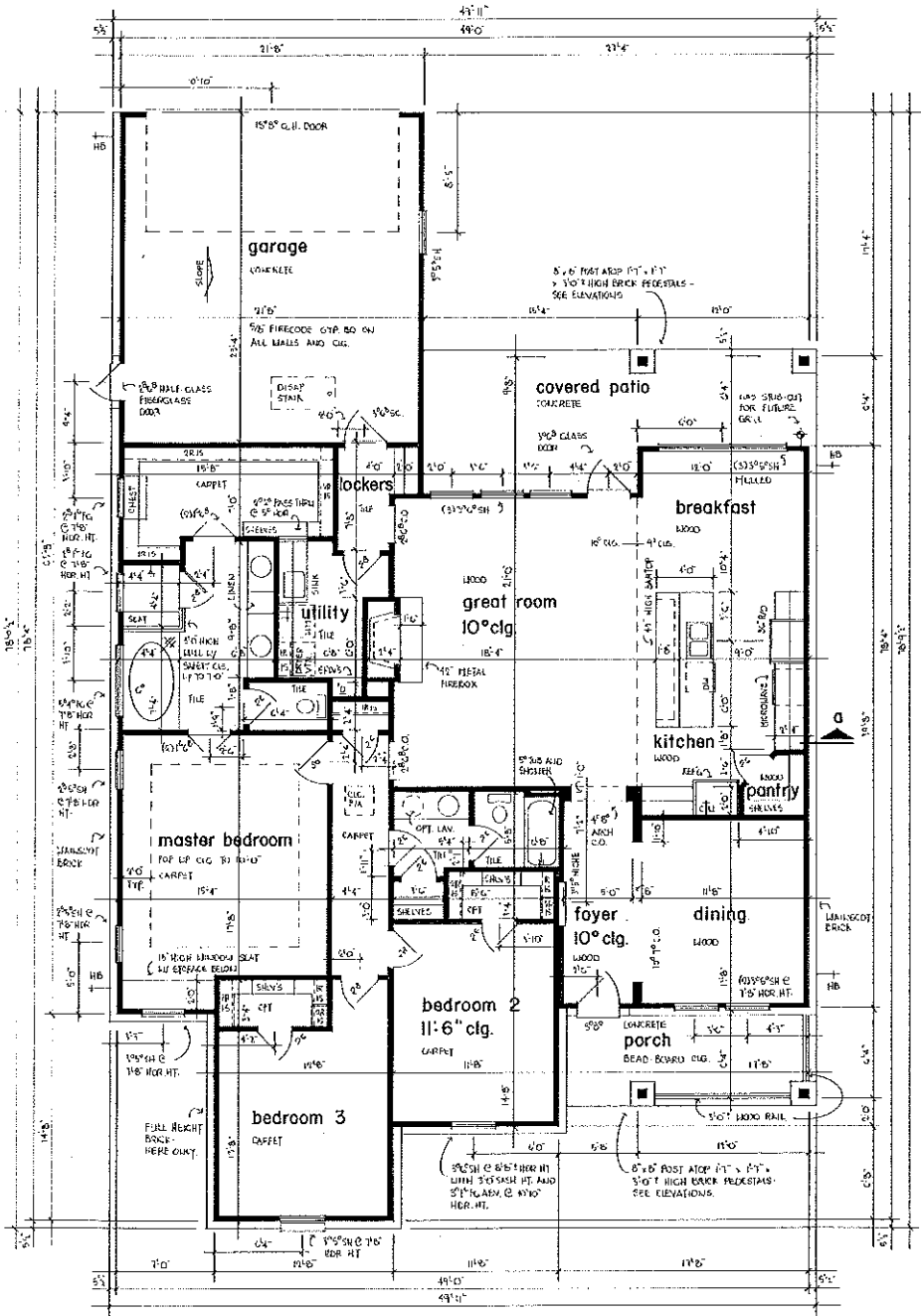
building layout plan
SCALE: 1/4" = 1'-0" 04.00.16

Lot #8 Caroline St.

ITEM #4



GIBS CUSTOM HOMES INC. 2223-1b
COPYRIGHT EARL VORHEEL
JFK HOUSE LLC
5114 ALUTUM-KIND LANE
THE WOODLANDS, TEXAS 77380
10.2016



Unless Otherwise Noted

1. Carpet Floor.
2. All disappearing stairs shall be minimum of 22" x 30" with minimum clearance of 5'0".
3. Locate gas water heater in attic above load bearing partition in pan- with reset drain line to outside. Installation must comply with manufacturer's and all applicable codes.
4. Provide 2" wide walkway (plywood) from attic access to water heater, not to exceed 20' to water heater on 30" platform.
5. _____ windows _____ glaz. Mull configuration may vary from those shown.
6. _____ ceiling down _____ ceiling up.
7. _____ header heights down _____ header heights up.
8. _____ doors down _____ doors up.
9. GYP OUTSIDE NEAR EXITS, WET AREAS, IN STORAGE, AND ALL OUTSIDE VAP outlets.
10. Floor Material to be non-combustible 3/8" minimum thickness, 20' minimum depth, 8' minimum to each side of opening.
11. All exhaust and plumbing vents to vent through rear roof.
12. All egress doors readily operable from the side which requires it to be made without the use of a key or special knowledge or effort.
13. All glazing within hazardous locations shall have safety glass in compliance with IRC Section R308 (IBC 2000).
14. Gyp. Board walls and ceiling.
15. All angles 45 degrees.
16. All bedroom windows to be 44" A.F.F. (max) 24" high x 20" wide (min.) opening with 5'7 1/2" (min.) net clear opening.
17. Smoke detectors require 110v connection to house wiring and battery backup. Location to comply with R317 IRC.
18. R-13 wall insulation (24 walls).
19. R-10 wall insulation (24 walls).
20. R-30 ceiling insulation.
21. R-19 sloped ceiling insulation.

NOTE:
ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

Baths

1. GFI 110 volt outlets @ all vanities as per plan.
2. All bathroom fans to provide 5 air changes per hour.
3. Provide one toilet paper holder and a minimum of 1 towel bar per bath.
4. All glass at tubs and showers tempered safety glass and must comply with RC08 IRC (2000).
5. Shower stalls and full bath (shower heads) walls to be finished with non-absorbent surfaces to a height of not less than 72" above drain inlet over concrete backer board.

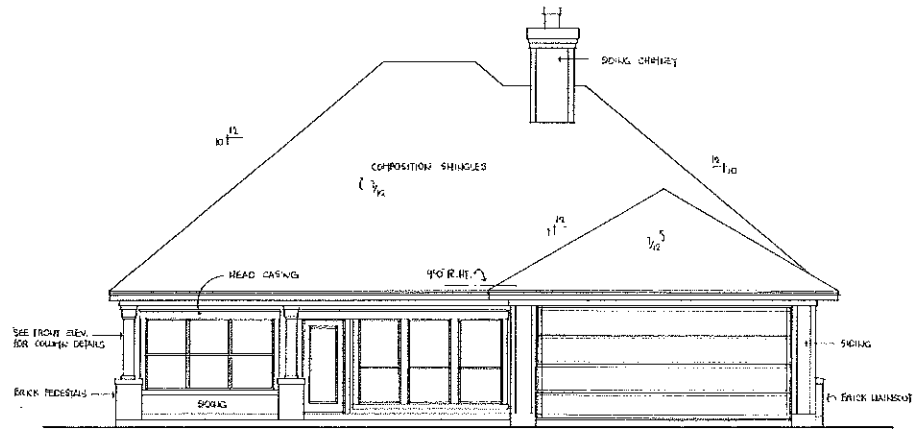
square footages

LIVING AREA	1	1	1
PORCH	1	1	1
COVERED PATIO	2	4	0
GARAGE	5	1	6
TOTAL	5	0	9

COPYRIGHT EARL VOLLETT
J.H. ROUSE, INC.
514 N. AMITYBROOK WAY
THE WOODLANDS, TEXAS 77380

floor plan

SCALE: 1/8" = 1'-0"
08-01-14
09-16-14



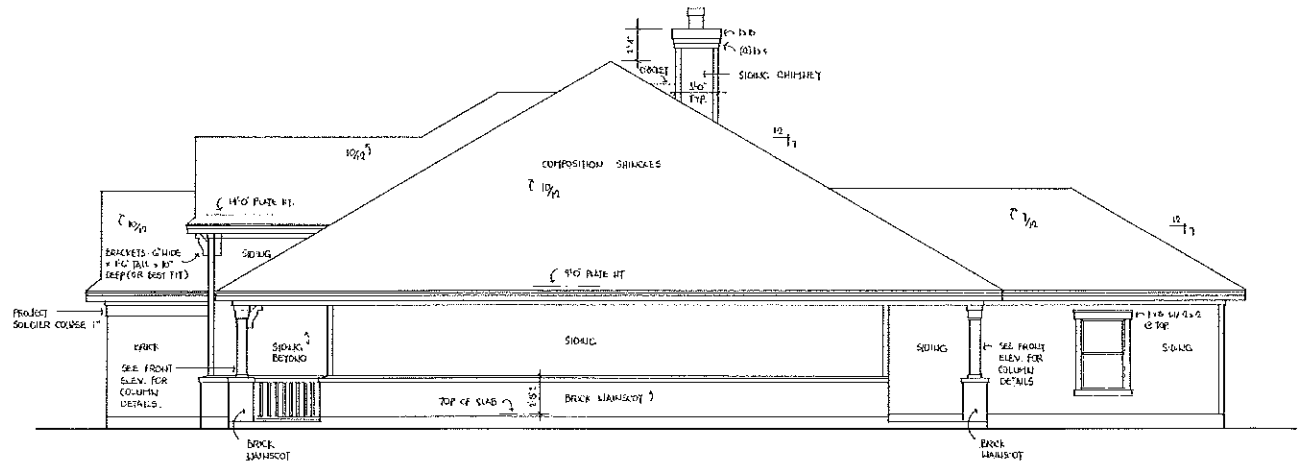
rear elevation

elevations

SCALE: 1/4" = 1'-0"

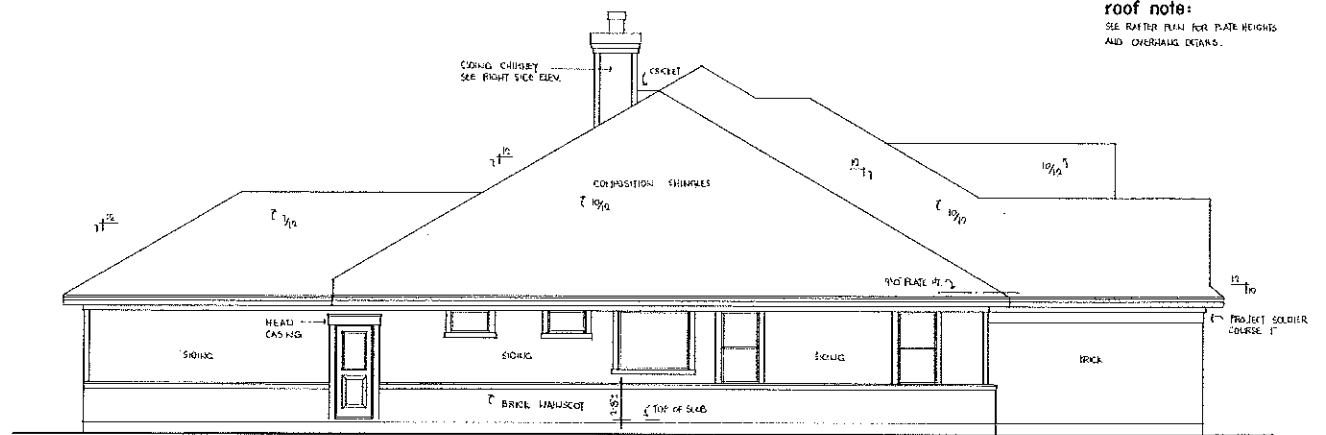
roof note:

SEE RAFTER PLAN FOR PLATE HEIGHTS AND DRAINAGE DETAILS.



right side elevation

05-03-14
05-05-14

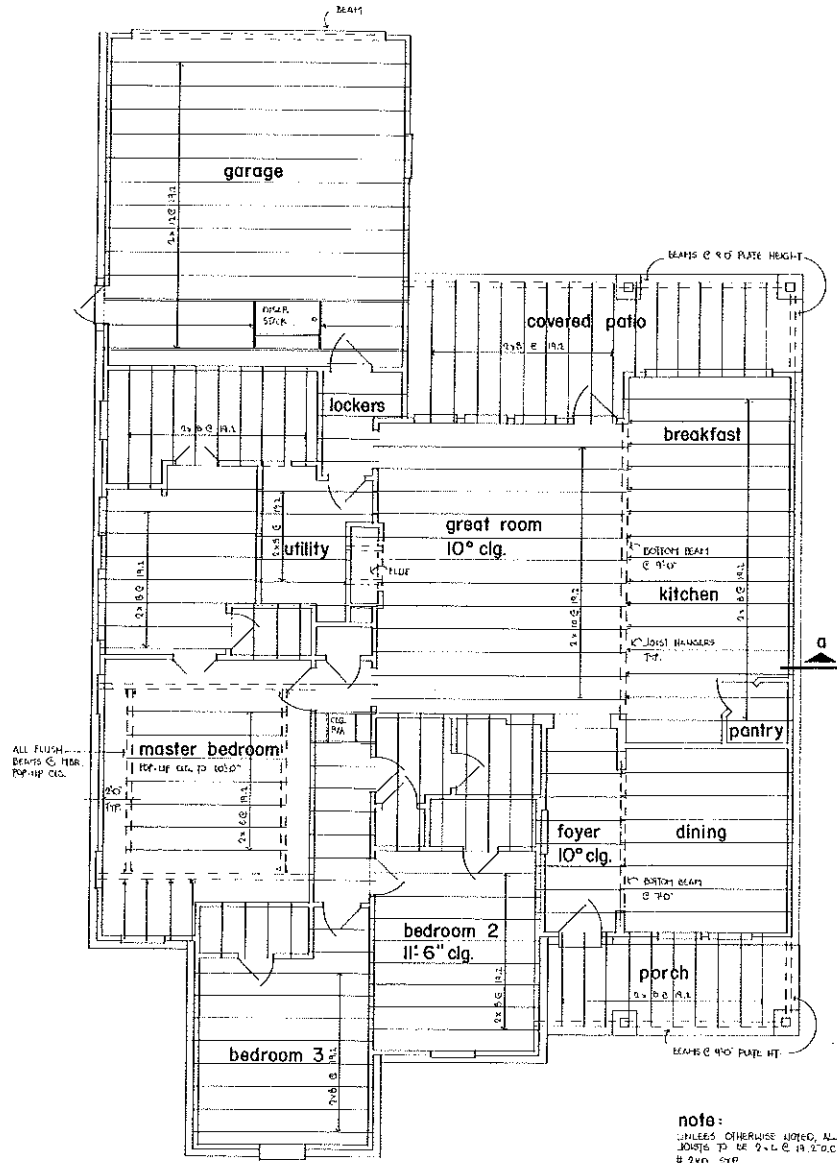


roof note:
SEE RAFTER PLAN FOR PLATE HEIGHTS
AND OVERHANG DETAILS.

left side elevation

SCALE: 1/4" = 1'-0"

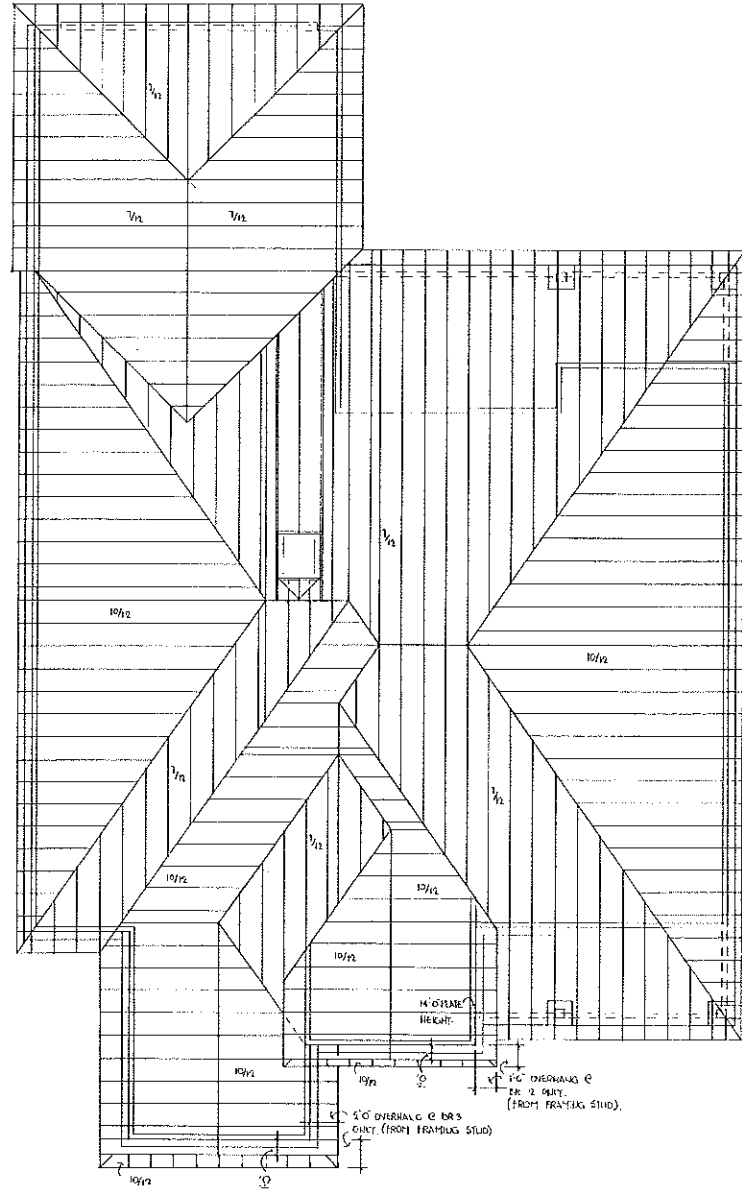
08-07-14
09-15-14



ALL FLOOR BEAMS @ 16" O.C. POP-UP C.C.

note:
UNLESS OTHERWISE NOTED, ALL JOISTS TO BE 2"x6" @ 16" O.C. #2KD SIP

framing plan
SCALE: 1/8" = 1'-0"

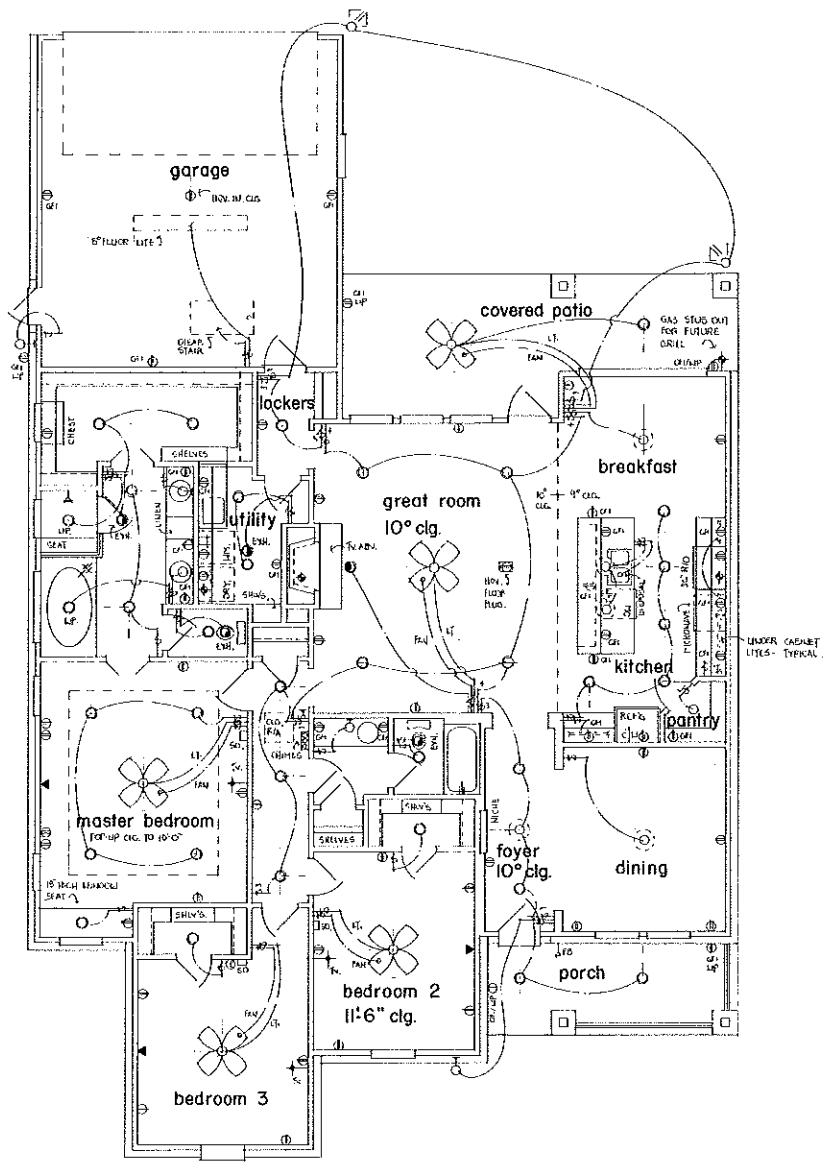
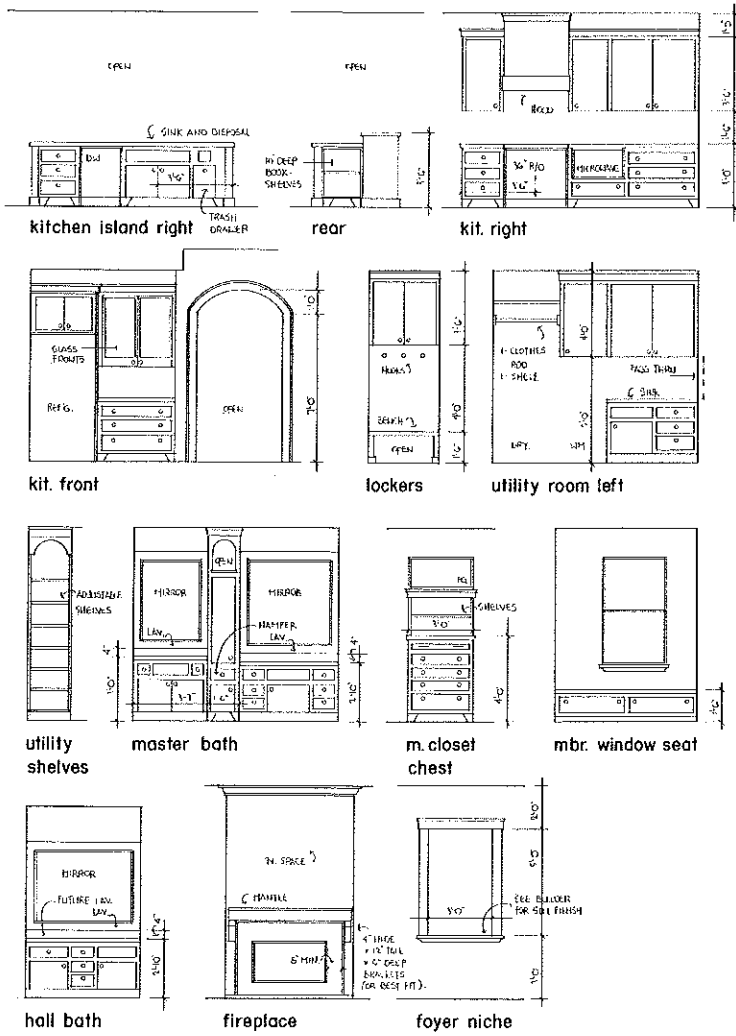


DOUBLE RAFTERS AROUND CHIMNEY.

UNLESS OTHERWISE NOTED, ALL RAFTERS TO BE 2"x6" @ 16" O.C. #2KD SIP.

rafter plan
SCALE: 1/4" = 1'-0" 09-15-14

note:
 1. NO FURNITURES SHOWN
 2. SEE ORDER FOR CABINET DETAILS.

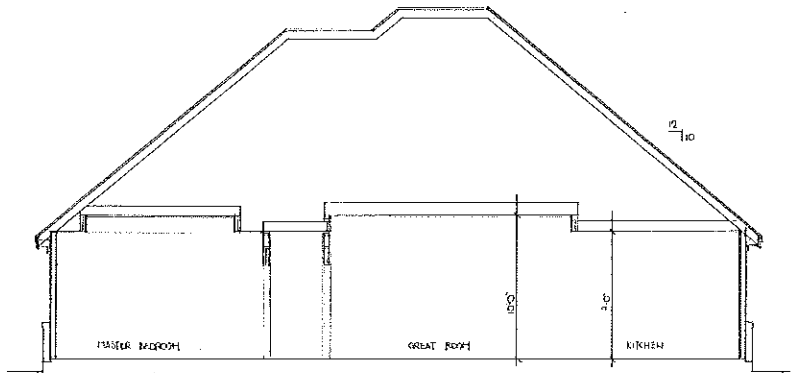


- legend
- ⊕ 110V ELEC. OUTLET
 - ⊕ 110V FLOOR OUTLET
 - ⊕ TELEPHONE JACK
 - ⊕ TELEVISION JACK
 - ⊕ FLUSH MOUNT LIGHT FIXTURE
 - ⊕ RECESSED CAN LIGHT FIXTURE
 - ⊕ WALL MOUNT AND CEG. MOUNT SMOKE DETECTORS
 - ⊕ EXH. EXHAUST FAN
 - ⊕ PUSH BUTTON FOR DOOR BELL
 - ⊕ BRACKET LIGHT OR STRIP LIGHT - RE. FLOOR PLAN
 - ⊕ CEILING FAN WITH LIGHT
 - ⊕ CEILING FAN WITHOUT LIGHT
 - ⊕ 1/2 HOT 110V ELEC. OUTLET
 - ⊕ 220V ELEC. OUTLET
 - ⊕ GAS
 - ⊕ EXTER. LIGHT
 - ⊕ FLUORESCENT LIGHTS
 - ⊕ HANGING FIXTURE
 - ⊕ WALL SCOURCE
 - ⊕ PAN - FRONT REC. SPOT LT.
 - ⊕ DOUBLE FLOOR LIGHT

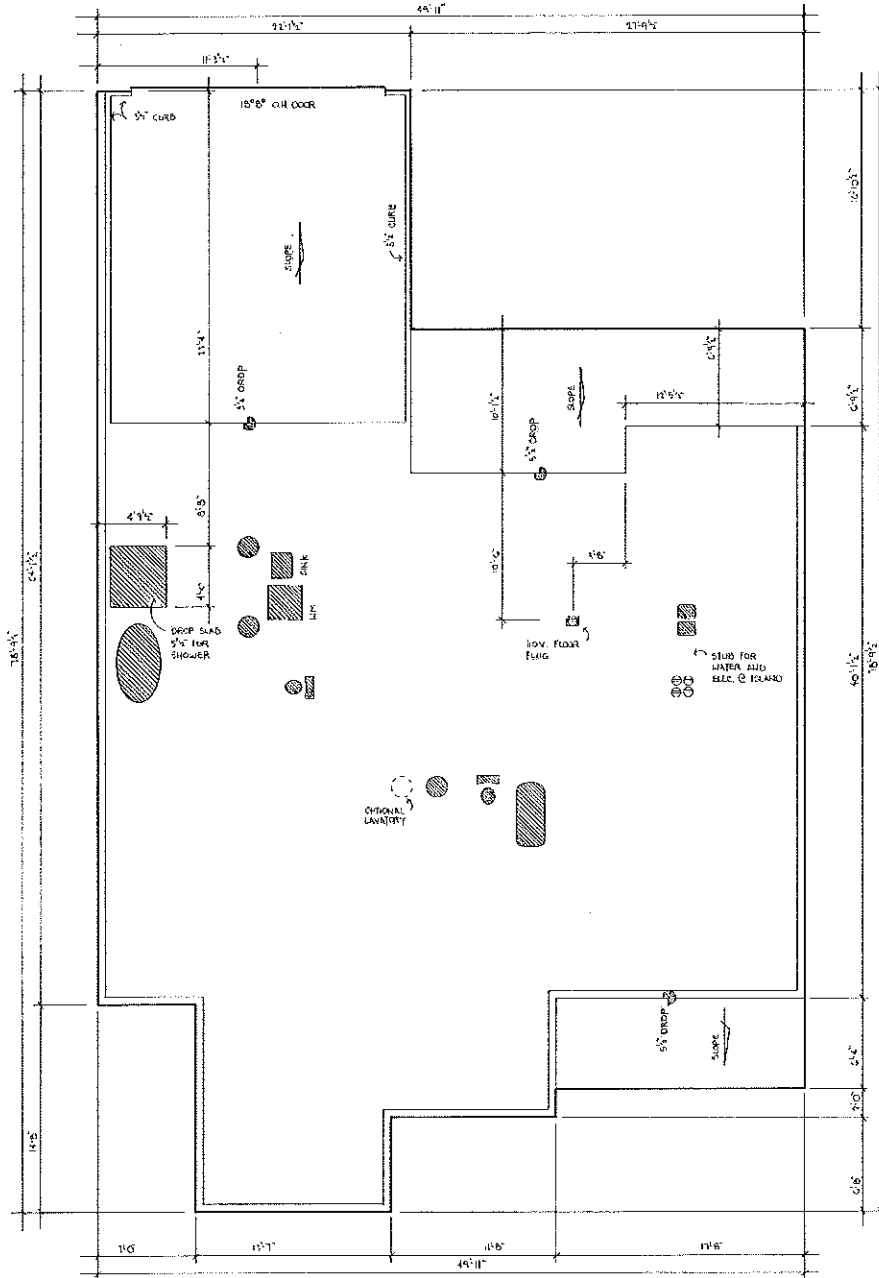
Clear Section - Unless Otherwise Noted

Verify all with engineer.

1. Minimum bearing area for steel ledgers at brick openings is 4" or 14 sq in. (4" x 3 1/2") each side.
2. Stairs - 5" freecode gap, but below:
 - A. RJA - Raads @ 10 1/2"
 - B. - Raads @ 7 1/2" (plus or minus)
3. Guards are 34"-36" A.F.F. (min.) with balusters at 4" o.c. Max. per R315 (IRC 2000).
4. Handgripping portion of the handrails shall be not less than 1 1/2" not more than 2 5/8" in cross sectional dimension or the flange shall provide an equivalent gripping surface per R315.2. (IRC 2000).
5. All fasteners in contact with slab to be corrosion resistant.
7. Walls
 - A. 2 x 4 studs @ 16" O.C. (Block and spans greater than 9' U.O.M.)
 - B. Columns and posts exposed to weather must be treated.
 - C. Provide vertical support (sadd) under the ends of all beams.
 - D. All exterior walls and main cross stud partitions shall be braced at each end and braced once every 25' of wall. Sec. 2517 (3).
8. Floors
 - A. Triple joint under parallel partitions.
 - B. Decking - 18" x 19" O.C. Supports.
 - C. 2 x 6 center match or plywood sheets with grain perpendicular to supports. Block at edges or use plywood clips (M' CDX 4070).
 - D. Cross bracing spans over 18', add block at floor joists at ends and under bearing walls.
9. Roof
 - A. Provide rafter ties where ceiling joist and rafters are not parallel.
 - B. Provide 2 x 8 cripple rafters nailed along side continuous 2 x 8 rafters where rafters form both a roof and a ceiling.
- C. Bracing
 1. 2 x 6 collars and braces @ 48" O.C. (braces that exceed 8' are to be double TT) bearing on strong backs or roof bracing beams (depending on the joint direction) which bear on walls continuous to the slab.
 2. Slope of braces must not be less than 45 degrees from the horizontal.
 3. Unbraced rafter span must not exceed 8'.
 - D. Decking 18" x 19" O.C. supports - plywood sheets with grain perpendicular to supports. Block at edges or use plywood clips (M' CD 200).
10. Slat blocking not less than 2" in thickness and must be the full depth of joist per R502 (IRC 2000).
11. All exterior walls and main cross-stud partitions shall be effectively braced at each end or as near thereto as possible, and at least every 25' of length per IRC 2000.
12. Partition brace shall be 45 degrees or greater and shall not exceed 8' in length without lateral support or stiffeners. Support by braces to bearing walls.
13. Where ceiling joists and rafters are perpendicular apply strong backs parallel to rafters across ceiling joists - attach strongbacks to rafters at each end.
14. Where joist hangers are used - secure joist ends to insure full bearing.



section a
SCALE: 1/2" = 1'-0"



NOTE:
ALL WRITTEN DIMENSIONS SHALL TAKE
PRECEDENCE OVER SCALED DIMENSIONS

SEE ENGINEER'S
DRAWINGS FOR BEAMS
AND REINFORCING...

building layout plan
SCALE: 1/2" = 1'-0" 04.15.14

JAN 2013 10:00 AM 03.14

ITEM #5
AGENDA REPORT

Meeting Date: October 24,2016	Budgeted Amount:
Department:	
Prepared By: Jack Yates	Exhibits:
Date Prepared: October 20, 2016	

Subject

Possible zoning changes

Discussion

I will present this at the meeting. It involves the city initiating several zoning changes to various properties .
No action will need to be taken at this meeting.

Recommendation

Consider the comments made, and consider putting it on the November or December Commission meeting.

Approved By

Department Manager		Date:
City Administrator	Jack Yates	Date: October 20, 2016