

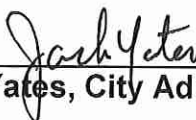
**MONTGOMERY PLANNING AND ZONING COMMISSION AGENDA
REGULAR MEETING OF
MONDAY, OCTOBER 23, 2017, 6:00 P.M.
CITY HALL COUNCIL CHAMBERS 101 OLD PLANTERSVILLE ROAD,
MONTGOMERY, TEXAS.**

CALL TO ORDER

VISITOR/CITIZENS FORUM

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. Commission may not discuss or take any action on any item, but may place the issue on a future agenda. The number of speakers along with the time allowed per speaker may be limited.

1. Consideration/take action regarding September 25, 2017 minutes
2. Consideration of Demolition/Moving Permit for 304 John A. Butler Street to Remove building from the City - Joe Shockley
3. Consideration/take action regarding a Building Permit at 304 John A. Butler Street - Joe Shockley
4. Consideration/take action regarding a Building Permit 300 block of Prairie Street - Joe Shockley
5. Consideration and possible action regarding approval of Hills of Town Creek Section 3 construction plans conditional upon final comments being addressed
6. Consideration and possible action regarding adoption of Land Use Plan as an informal guide to development in the city
7. Adjournment



Jack Yates, City Administrator



Posted October 20, 2017 at 4:15 p.m. This facility is wheelchair accessible and accessible parking spaces are available. Please contact the City Secretary's office at 936-597-6434 for further information or for special accommodation

MINUTES OF PUBLIC HEARING and REGULAR MEETING

September 25, 2017

MONTGOMERY PLANNING AND ZONING COMMISSION

CALL TO ORDER

Chairman Nelson Cox declared a quorum was present, and called the meeting to order at 6:00 p.m.

Present: Nelson Cox, William Simpson, Jeffrey Waddell and Carol Langley

Absent: Arnette Easley

Also Present: Susan Hensley, City Secretary

Ed Shackelford, City Engineer

VISITOR/CITIZENS FORUM

Any citizen with business not scheduled on the agenda may speak to the Commission. Prior to speaking, each speaker must be recognized by the Chairman. Commission may not discuss or take any action on any item, but may place the issue on a future agenda. The number of speakers, along with the time allowed per speaker may be limited.

There were no citizen's comments made.

1. Consideration/take action regarding August 28, 2017 minutes

Jeff Waddell moved to approve the minutes as presented. William Simpson seconded the motion, the motion carried unanimously. (4-0)

2. Public Hearing on Rezoning a 0.28 acre tract of land situated in the John Corner Survey, Abstract No. 8, Montgomery County, Texas otherwise described as approximately 150 feet south of Flagship Boulevard – Andrew Bay

Chairman Cox called the Public Hearing to order at 6:03 p.m.

Ms. Susan Hensley, City Secretary, advised for the record that all the notices were mailed out to the property owners within 200 feet of the property being rezoned and the legal notices were published in the official City newspaper and on the City web site. Ms. Hensley advised that there had been no comments received following the notices.

Chairman Cox asked if there was any time restriction for conducting the Public Hearing. Ms. Hensley advised that there was not.

Chairman Cox closed the Public Hearing at 6:04 p.m. and reconvene into the Regular Meeting.

- 3 Consideration/take action regarding Rezoning a 0.28 acre tract of land situated in the John Corner Survey, Abstract No. 8, Montgomery County, Texas otherwise described as approximately 150 feet south of Flagship Boulevard – Andrew Bay.

Ms. Hensley advised that this item was for the Commission to formulate their Final Report, which will be presented to City Council tomorrow before their Public Hearing. Ms. Hensley advised that City Council was required to receive the Final Report prior to conducting their Public Hearing. Chairman Cox asked if the Final Report had to entail the results from the Public Hearing. Ms. Hensley advised that was correct, and it needed to include the Commission's recommendation to City Council.

Carol Langley moved to recommend the rezoning of the tract of land from institutional use to B1 Commercial use. Jeff Waddell seconded the motion, the motion carried unanimously. (4-0)

- 4 Consideration/take action regarding a sign permit at 304 Caroline St. – Kristin Billingsly

Ms. Hensley advised that Ms. Billingsly was not present. Carol Langley asked if this was where the Cozy Supper Club had been previously located. Chairman Cox said that was correct.

William Simpson moved to approve the sign permit for 304 Caroline Street.

Jeff Waddell said that normally they see an evaluation and fee on the application. Ms. Hensley advised that she was not involved with this particular item, and said that she would check into it, but said that she was sure that they would add that valuation prior to the permit being issued. Ms. Hensley advised that she would note that information.

Jeff Waddell seconded the motion, the motion carried unanimously. (4-0)

Ms. Hensley advised that she would verify that location information with Mr. Yates.

5. Consideration of Demolition/Moving Permit for 21000 Eva Street to remove Building from the City - Sonja Spottswood

Carol Langley asked whether this was the middle building. Ms. Hensley advised that it was next to Ruthie Grace. Jeff Waddell said that the smaller building was Dominion Pool. Ms. Hensley advised that Mr. Yates had stated that this was the tan building located next to Ruthie Grace.

Carol Langley said that they are saying that the building is being removed in anticipation of a donut shop to be placed on the site. Carol Langley said that building would be moved completely out of the City and if a new building would be built there. Ms. Hensley said that she did not have that information, but said that she would imagine that they would have to go through the permit process. William Simpson said that the building being removed is not a historical building, it was just built on historic ground. Carol Langley said that the building was originally moved to that location.

Jeff Waddell said that when the building is removed it states that the ground will be leveled as stated on the application. Ms. Hensley advised that the property owner has stated that they will remove the building and smooth the land upon removal of the building.

William Simpson moved to accept the removal of the building at 21000 Eva Street. Jeff Waddell seconded the motion.

Discussion: Jeff Waddell said that there was concrete put down for the pool company, and asked if they are the people selling the property. William Simpson said that the property has already been purchased. Jeff Waddell said that the owner does not have problem removing if there is plumbing or whatever, that is nothing that the Commission has to get involved with. Jeff Waddell said that he was only asking if, in the past, that was something that was required when there is removal of plumbing, where there could be a safety hazard. Ms. Hensley said that she did not know that answer. Williams Simpson said that if they are going to put a building right back there, they would probably use the same utilities, if it is up to Code. Ms. Hensley said that this would have to go through the permitting process so that would all be covered.

The motion carried unanimously. (4-0)

Carol Langley said that she wanted to make one comment. Carol Langley said that it seemed like the last two or three agendas, the people are not coming before the Commission, and she was wondering if they were telling staff a head of time that they are not coming and asked if staff had any idea if they would be attending the meeting. Ms. Hensley advised that she did not get involved with the Planning and Zoning Commission Agenda, so she would have to check with Mr. Yates. Ms. Hensley advised that usually Mr. Yates advised the people when the meeting is scheduled. Ms. Hensley said that she would mention this to Mr. Yates, that it would be good to have the people present for the meeting. Carol Langley thanked Ms. Hensley.

6. Consideration/take action regarding Lake Creek Village Section Three Final Plat.

Mr. Shackelford advised that the Commission had a letter from him indicating that they have reviewed the Estates of Lake Creek Village, which is the name that showed up on the Final Plat, formerly Lake Creek Village, Section Three. Mr. Shackelford said that they have reviewed the plat, according to the 2004 Code of Ordinances, because this development is covered under a Development Agreement with Mr. LeFevre and the City. Mr. Shackelford said that the Commission also has a drawing with redline comments, which are the comments that they identified during their review and they have notified the engineer that submitted the plat. Mr. Shackelford said that they were recommending to the Commission that they approve the plat, conditional upon the redline comments being resolved and the financial guarantee being brought to the City for the remaining punch list items for the development.

Ms. Hillary Dumas was present and advised that she believed that the corrections have been made and submitted to City Hall. Mr. Shackelford asked Ms. Hensley if she had the Final Plat. Ms. Hensley advised that she did not have the plat. Mr. Shackelford said that the plat might be at City Hall, but they have not seen it yet. Ms. Dumas said that they had no problems with the corrections that were suggested, and she believed that they had already been made.

Jeff Waddell said that the redlines were very thorough, and asked about the 25-foot overlap, and said that on the vegetation barrier you can go over the build line and asked to clarify what that means. Mr. Shackelford said that they can overlap each other, and said that the reason that they can is normally the building line you can't put a building in, but you could leave that as a buffer and some people put parking lots within the building setback. Mr. Shackelford said that in most cases you would not have a parking lot backing up to a residential lot. Mr. Shackelford said that they are interpreting that you can overlap the building line with the vegetative barrier. Mr. Shackelford said that what they can't overlap is the utility easements or a drainage easement. Mr. Shackelford said that on the drawing where Restricted Reserve A is located, because they don't know what is coming on that Reserve, which could end up being residential at some future date, so the vegetative reserve could go away. Mr. Shackelford said that they will have to go through the planning process

for the reserve and at that time they can resolve the vegetative barrier during the replat process. Jeff Waddell said that there was also a note on the 15-foot side lots, and Lot 10 looked like it could be kind of close on width. Mr. Shackelford said that the ordinance did call out for a 15-foot side lot. Jeff Waddell asked if there would be enough width on Lot 10. Mr. Shackelford said that was correct.

Mr. Shackelford said that the recommendation is to approve the plat, subject to their comments and receipt of the financial guarantee.

Jeff Waddell moved to approve the Final Plat of the Estates of Lake Creek Village, with the stipulations as recommended by the City Engineer. Carol Langley seconded the motion, the motion carried unanimously. (4-0)

7. Consideration/take action regarding The Shoppes at Montgomery Preliminary Plat.

Mr. Shackelford advised that the development is located on the southwest corner of FM 2854 and SH 105, and is roughly 27 acres. Mr. Shackelford said that the City has been talking with the developer of this tract, so they have submitted their preliminary plat. Mr. Shackelford said that they have redline comments on the plat, which they are recommending approval subject to the surveyor or the entity submitting the plat making the corrections prior to submitting the final plat.

Carol Langley asked if this was located in front of the City's sewer plant. Mr. Shackelford said that was correct, it was in front and on the side of the sewer plant. Mr. Shackelford said that part of the discussions with the developer have been the City was going to rebuild the lift station and they can rebuild that wherever. Mr. Shackelford said that part of the arrangement is the developer will grant land to the City and they will pay to relay the gravity line so that they can reclaim some of the property. Mr. Shackelford said that they are working on a Development Agreement with them, as we speak.

William Simpson moved to grant provisional approval of the Preliminary Plat for the Shoppes at Montgomery, subject to the City Engineer's comments and the City's Tree Preservation Plan. Jeff Waddell seconded the motion, the motion carried unanimously. (4-0)

8. Consideration/take action regarding calling a Public Hearing concerning Land Use Plan adoption.

Ms. Hensley advised that in Mr. Yates notes, he has met with the City Attorney, and the City Attorney has recommended not adopting the Land Use Plan, except as a part of a Comprehensive Plan. Ms. Hensley said that the City Attorney advised Mr. Yates that according to the Local Government Code, that proves that zoning regulation must be adopted in accordance with a Comprehensive Plan, which the City of Montgomery has never adopted a Comprehensive Plan. Ms. Hensley said that Mr. Yates reported that the City Attorney advised that the Planning Commission and the City Council could use the Land Use Plan as an informal plan, which could accomplish the purpose of pre-thought without a formal adoption. Ms. Hensley said that Mr. Yates said that he planned on presenting the Land Use Plan as an informal guide for planning efforts at the October 23, 2017 Meeting.

Chairman Cox stated that he thought the thing to do would be to table this item until the October 23, 2017 Meeting. Jeff Waddell said that Mr. Yates mentioned that the City Attorney would be present at the October 23, 2017 Meeting. Ms. Hensley advised that she thought that Mr. Yates just wanted to advise the Commission of the information.

Carol Langley said that the agenda is asking them to schedule a Public Hearing. Ms. Hensley said that the agenda states that it is scheduling a Public Hearing concerning that, but Mr. Yates is recommending placing the Land Use Plan on the Agenda as an informal plan that would not require the Public Hearing. Ms. Hensley advised that this would not be a formal document, it would be used as a guide.

After discussion, Carol Langley moved to Table Item 8 due to it calling a Public Hearing and she was not understanding what they are doing, so she would like to hear it all again at the October 23, 2017 Meeting. William Simpson seconded the motion, the motion carried unanimously. (4-0)

9. Consideration/take action regarding calling a Public Hearing concerning Corridor Enhancement District

Carol Langley said that Mr. Yates wrote on the description November the 27th, but in his recommendation, Mr. Yates left it as October 23, 2017. Ms. Hensley advised that she had discussed that with Mr. Yates and he wanted the November 27th, which was the week after Thanksgiving so it should be okay. Ms. Hensley said that the November date would give staff enough time to send out notices for the Corridor Enhancement District.

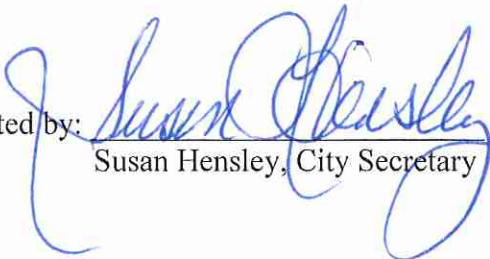
Chairman Cox asked if City staff has received much feedback referencing the Corridor Enhancement District. Ms. Hensley advised that she had not received any comments. Ms. Hensley advised that the reason for the change in date was because they will have to get all of the people listed and notices will have to be sent out prior to the meeting, along with the legal notice being published. Chairman Cox asked if the November Meeting would provide enough time. Ms. Hensley advised that she felt that it should provide enough time, but the October meeting date would have been cutting it too close.

Carol Langley moved to set the Public Hearing concerning the Corridor Enhancement District to be held on November 27, 2017 at 6 p.m. Jeff Waddell seconded the motion, the motion carried unanimously. (4-0)

1. Adjournment

William Simpson moved to adjourn the meeting at 6:30 p.m. Jeff Waddell seconded the motion, the motion carried unanimously. (4-0)

Submitted by:



Susan Hensley, City Secretary

Date approved: _____

Chairman Nelson Cox

AGENDA REPORT

Meeting Date: October 23, 2017	Budgeted Amount:
Department:	
	Exhibits: Pictures of building to be Demolished, Permit application
Prepared By: Jack Yates City Administrator	
Date Prepared: October 18, 2017	

Subject

Consideration of demolition permit by Joe Shockley 304 John A. Butler Street.

Description

Mr. Shockley is requesting to demolish a building that he says is damaged and literally leaning to one side.
The attached pictures show the building.

Recommendation

Approve the demolition permit to be issued

Approved By

City Administrator	Jack Yates	Date: October 18 , 2017
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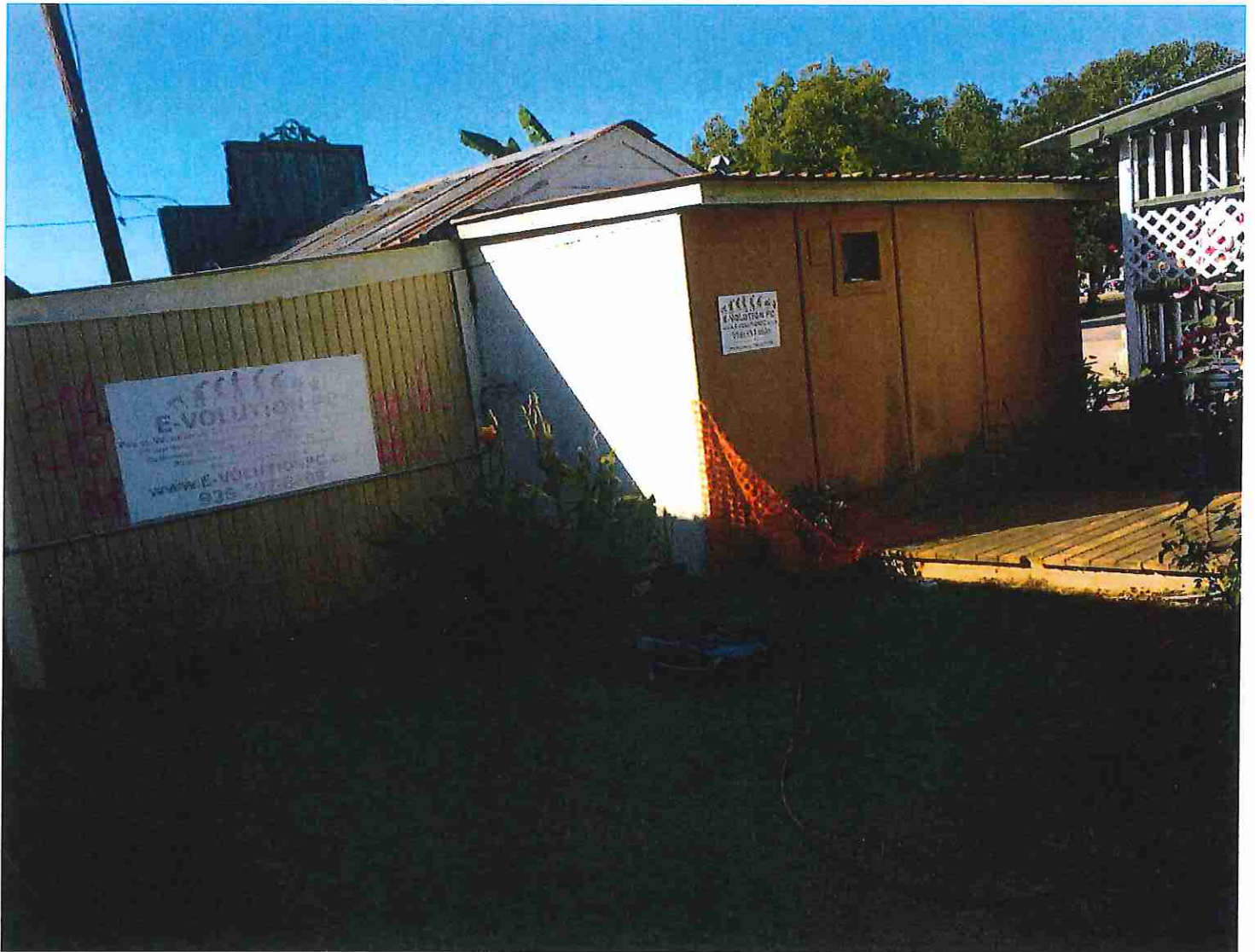


E-VOLUTION PC
Internet Support and PC Organization
www.E-VOLUTIONPC.com
936-597-6800

GOD BLESS TEXAS

LEAD





CITY OF MONTGOMERY

P.O. BOX 708
MONTGOMERY, TX 77356
PHONE: 936-597-6434 |
Permits@ci.montgomery.tx.us
www.montgomerytexas.gov

CONSTRUCTION/DEMO PERMIT APPLICATION

For the erection of buildings, accessories, repairs, demolition,
moving, etc.

Expires in 6 months (180 days)
Non-Transferable

DATE OF APPROVAL: _____

PERMIT NUMBER: _____

Owner: Joe C. Shockey | Owner Phone #: (201) 546 5965

Contractor: _____ | Cont. Phone #: () _____

Contractor Mailing Address: _____

City: _____ | State: _____ | Zip: _____

Job Site Address: 304 John Butler

Residential or Commercial Project: _____ | Zoned: H0

LOT #: _____ | BLOCK #: _____ | LOT SIZE: _____ | BLDG. SIZE (SQ. FT.): _____

Description of work (Including Class & Construction Types):

Demol or remove present building and
replan

VALUE OF TOTAL WORK: \$?

\$0 - \$1000	\$60 FLAT FEE
\$1,001 - \$50,000	\$15.00 FOR FIRST \$1,000 + \$5.00 FOR EACH ADDTL \$1,000 OR FRACTION THEREOF
\$50,001 - \$100,000	\$260.00 FOR FIRST \$50,000 + \$4.00 FOR EACH ADDTL \$1,000 OR FRACTION THEREOF
\$100,001 - \$500,000	\$460.00 FOR FIRST \$100,000 + \$3.00 FOR EACH ADDTL \$1,000 OR FRACTION THEREOF
OVER \$500,001	\$1,660.00 FOR FIRST \$500,000 + \$2.00 FOR EACH ADDTL \$1,000 OR FRACTION THEREOF
PLAN REVIEW FEE	EQUAL TO ONE-HALF OF THE PERMIT FEE WHEN VALUATION EXCEEDS \$70,000.00

NOTICE: SEPARATE PERMITS ARE REQUIRED FOR PUBLIC UTILITIES, ELECTRICAL, PLUMBING, HEATING, VENTILATION, AIR CONDITIONING, GRADING, ALARMS, ROOFING, LANDSCAPING, FIRE SPRINKLERS AND LAWN SPRINKLERS.

I hereby certify that I have read and examined this application and know the same to be true & correct. All provisions of law and ordinances governing this type of work will be complied with whether or not specified herein. The granting of this permit does not presume to give authority to violate or cancel the provisions of any state or local law office regulating construction or the performance of construction.

Name of Applicant: Joe C. Shockey Applicant Signature: [Signature]

OFFICE USE ONLY

Plan Review Fee: \$ _____

Accepted By: _____

Permit Fee: \$ _____

Issued By: _____

PERMIT FEE TOTAL: \$ _____

AGENDA REPORT

Meeting Date: October 16, 2017	Budgeted Amount:
Department:	
	Exhibits: Pictures of building to be placed, Permit application, Map showing building location
Prepared By: Jack Yates City Administrator	
Date Prepared: October 12, 2017	

Subject

Consideration of building permit by Joe Shockley 304 John A. Butler Street.

Description

Mr. Shockley is requesting to move a prefabricated building on to this site. The attached pictures show the building. I would, at a minimum: require lattice work or some other type of building apron around the piers and beams of the building, require landscaping of bushes or similar type of landscaping to make the building look as site built as possible. Perhaps require, at a later time when a sign permit is requested, that signing be particularly ornate to aid in the appearance of the building to match the downtown style—even to the point of Commission saying at the present time where the sign should be located on the building.

Montgomery City Council
AGENDA REPORT

Recommendation

Approve the building permit, with stipulations.

Approved By

City Administrator

Jack Yates

Date: October 12 , 2017



Star 16x40





CITY OF MONTGOMERY

P.O. BOX 708
MONTGOMERY, TX 77356
PHONE: 936-597-6434 |
Permits@ci.montgomery.tx.us
www.montgomerytexas.gov

CONSTRUCTION/DEMO PERMIT APPLICATION
For the erection of buildings, accessories, repairs, demolition,
moving, etc.

Expires in 6 months (180 days)
Non-Transferable

DATE OF APPROVAL: _____

PERMIT NUMBER: _____

Owner: Joe C. Shockley | Owner Phone #: (281) 546 5965

Contractor: Texas Tiny Homes | Cont. Phone #: 936 443 8977

Contractor Mailing Address: 13260 FM 1097 W

City: Willis | State: Tx | Zip: 77318

Job Site Address: 304 John Butler

Residential or Commercial Project: _____ | Zoned: H0

LOT #: _____ | BLOCK#: _____ | LOT SIZE: _____ | BLDG. SIZE (SQ. FT.): _____

Description of work (Including Class & Construction Types):

Replace existing building w/ new building. New building is 16x40, about same size as existing

VALUE OF TOTAL WORK: \$ 25K

\$0 - \$1000	\$60 FLAT FEE
\$1,001 - \$50,000	\$16.00 FOR FIRST \$1,000 + \$5.00 FOR EACH ADD'L \$1,000 OR FRACTION THEREOF
\$50,001 - \$100,000	\$260.00 FOR FIRST \$50,000 + \$4.00 FOR EACH ADD'L \$1,000 OR FRACTION THEREOF
\$100,001 - \$500,000	\$460.00 FOR FIRST \$100,000 + \$3.00 FOR EACH ADD'L \$1,000 OR FRACTION THEREOF
OVER \$500,001	\$1,660.00 FOR FIRST \$500,000 + \$2.00 FOR EACH ADD'L \$1,000 OR FRACTION THEREOF
PLAN REVIEW FEE	EQUAL TO ONE-HALF OF THE PERMIT FEE WHEN VALUATION EXCEEDS \$70,000.00

NOTICE: SEPARATE PERMITS ARE REQUIRED FOR PUBLIC UTILITIES, ELECTRICAL, PLUMBING, HEATING, VENTILATION, AIR CONDITIONING, GRADING, ALARMS, ROOFING, LANDSCAPING, FIRE SPRINKLERS AND LAWN SPRINKLERS.

I hereby certify that I have read and examined this application and know the same to be true & correct. All provisions of law and ordinances governing this type of work will be complied with whether or not specified herein. The granting of this permit does not presume to give authority to violate or cancel the provisions of any state or local law office regulating construction of the performance of construction.

Name of Applicant: Joe C. Shockley Applicant Signature: [Signature]

OFFICE USE ONLY

Plan Review Fee: \$ _____

Accepted By: _____

Permit Fee: \$ _____

Issued By: _____

PERMIT FEE TOTAL: \$ _____

Caroline Street

HISTORIC MONTGOMERY SQUARE



Gifts &
Antiques
301

14x34 New

COMAL

Prairie Street

Quilt
Shop
312A

Hair
Care
312

Wash.
310

Gifts
308

Dominion
Pool
306

Clothing
302

Computer
Repair
304

Laundry 310

John Butler Street

Demo & Replace w/ 16 X 40
STAR

AGENDA REPORT

Meeting Date: October 16, 2017	Budgeted Amount:
Department:	
	Exhibits: Pictures of building to be placed, Permit application, Map showing building location
Prepared By: Jack Yates City Administrator	
Date Prepared: October 12, 2017	

Subject

Consideration of building permit by Joe Shockley next to 301 Prairie Street Street.

Description

Mr. Shockley is requesting to move a prefabricated building on to this site. The building is immediately north of the north side of Yo' Mamma's Bar-b-cue Restaurant.

The attached pictures show the building.

This building would need to add on-site, off-street paved parking for 2.6 (rounded up) to 3 parking spaces.

I would, at a minimum: require lattice work or some other type of building apron around the piers and beams of the building, require landscaping of bushes or similar type of landscaping to make the building look as site built as possible. Perhaps require, at a later time when a sign permit is requested, that signing be particularly ornate to aid in the appearance of the building to match the downtown style—even to the point of Commission saying at the present time where the sign should be located on the building.

Montgomery City Council
AGENDA REPORT

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Recommendation

Approve the building permit, with stipulations.

Approved By

City Administrator

Jack Yates

Date: October 12, 2017



Comal 14x34

CITY OF MONTGOMERY

P.O. BOX 708
MONTGOMERY, TX 77356
PHONE: 936-597-6434 |
Permits@ci.montgomery.tx.us
www.montgomerytexas.gov

CONSTRUCTION/DEMO PERMIT APPLICATION

For the erection of buildings, accessories, repairs, demolition, moving, etc.

Expires in 6 months (180 days)
Non-Transferable

DATE OF APPROVAL: _____

PERMIT NUMBER: _____

Owner: Joe C. Shackley | Owner Phone #: (281) 546 5965

Contractor: _____ | Cont. Phone #: () _____

Contractor Mailing Address: _____

City: _____ | State: _____ | Zip: _____

Job Site Address: 300 BLK PRAIRIE

Residential or Commercial Project: COMMERCIAL | Zoned: _____

LOT #: _____ | BLOCK#: _____ | LOT SIZE: _____ | BLDG. SIZE (SQ. FT.): _____

Description of work (Including Class & Construction Types):

Make new BLDG INT.

VALUE OF TOTAL WORK: \$ 20,000

\$0 - \$1000	\$60 FLAT FEE
\$1,001 - \$50,000	\$15.00 FOR FIRST \$1,000 + \$5.00 FOR EACH ADDTL \$1,000 OR FRACTION THEREOF
\$50,001 - \$100,000	\$260.00 FOR FIRST \$50,000 + \$4.00 FOR EACH ADDTL \$1,000 OR FRACTION THEREOF
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I hereby certify that I have read and examined this application and know the same to be true & correct. All provisions of law and ordinances governing this type of work will be complied with whether or not specified herein. The granting of this permit does not presume to give authority to violate or cancel the provisions of any state or local law office regulating construction or the performance of construction.

Name of Applicant: Joe C. Shackley Applicant Signature: [Signature]

OFFICE USE ONLY

Plan Review Fee: \$ _____

Accepted By: _____

Permit Fee: \$ _____

Issued By: _____

PERMIT FEE TOTAL: \$ _____

Caroline Street

HISTORIC MONTGOMERY SQUARE



Gifts &
Antiques
301

14x34 New

COMAL

Prairie Street

Quilt
Shop
312A

Hair
Care
312

Wash.
310

Gifts
308

Dominion
Pool
306

Computer
Repair
304

Clothing
302

e Laundry 310

John Butler Street

Demo + Replace w/ 16x40
STAR

AGENDA REPORT

Meeting Date: October 23, 2017	Budgeted Amount:
Department:	
	Exhibits- Memo from City Engineer w/ plans
Prepared By: Jack Yates City Administrator	
Date Prepared: October 20, 2017	

Subject

Consideration of recommendation for Hills of Town Creek Section 3 Construction Plans.

Description

The memo from the city Engineer fully explains this item.

Recommendation

Recommend the Hills of Town Creek Section 3 Construction Plans conditional upon final comments being addressed.

Approved By

City Administrator

Jack Yates

Date: October 20, 2017



1575 Sawdust Road, Suite 400
The Woodlands, Texas 77380-3795
Tel: 281.363.4039
Fax: 281.363.3459
www.jonescarter.com

October 19, 2017

Planning and Zoning Commission
City of Montgomery
101 Old Plantersville Road
Montgomery, Texas 77316

Re: Approval of Construction Drawings
Hills of Town Creek, Section Three
City of Montgomery

Commission Members:

We have reviewed the referenced construction drawings as submitted by L Squared Engineering on behalf of the City of Montgomery. While most review comments have been addressed, there are still minor outstanding items to be addressed. Enclosed is a copy of our most recent initial comments on the construction plans. We offer our recommendation that the Planning and Zoning Commission conditionally approve the construction plans as shown subject to all comments being addressed. A final plat will be recorded following completion of construction.

As always, should you have any questions or need any additional information, please do not hesitate to contact Chris Roznovsky or myself.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ed Shackelford', with a long horizontal flourish extending to the right.

Ed Shackelford, PE
Engineer for the City

EHS/cvr:ab

K:\W5841\W5841-0900-00 General Consultation\Correspondence\Letters\2017\MEMO to PZ RE Hills of Town Creek Section 3 Plan Approval.doc

Enc: Construction Plans – Lake Creek Village, Section III
cc: The Honorable Mayor and City Council, City of Montgomery
Mr. Jack Yates – City of Montgomery, City Administrator
Ms. Susan Hensley – City of Montgomery, City Secretary
Mr. Larry Foerster – Darden, Fowler & Creighton, LLP, City Attorney
Mr. E. Levi Love, PE – L Squared Engineering

CITY OF MONTGOMERY, TEXAS

HILLS OF TOWN CREEK

SECTION 3



CLIENT INFORMATION
 STYLCRAFT BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH
 COLLEGE STATION, TX 77845

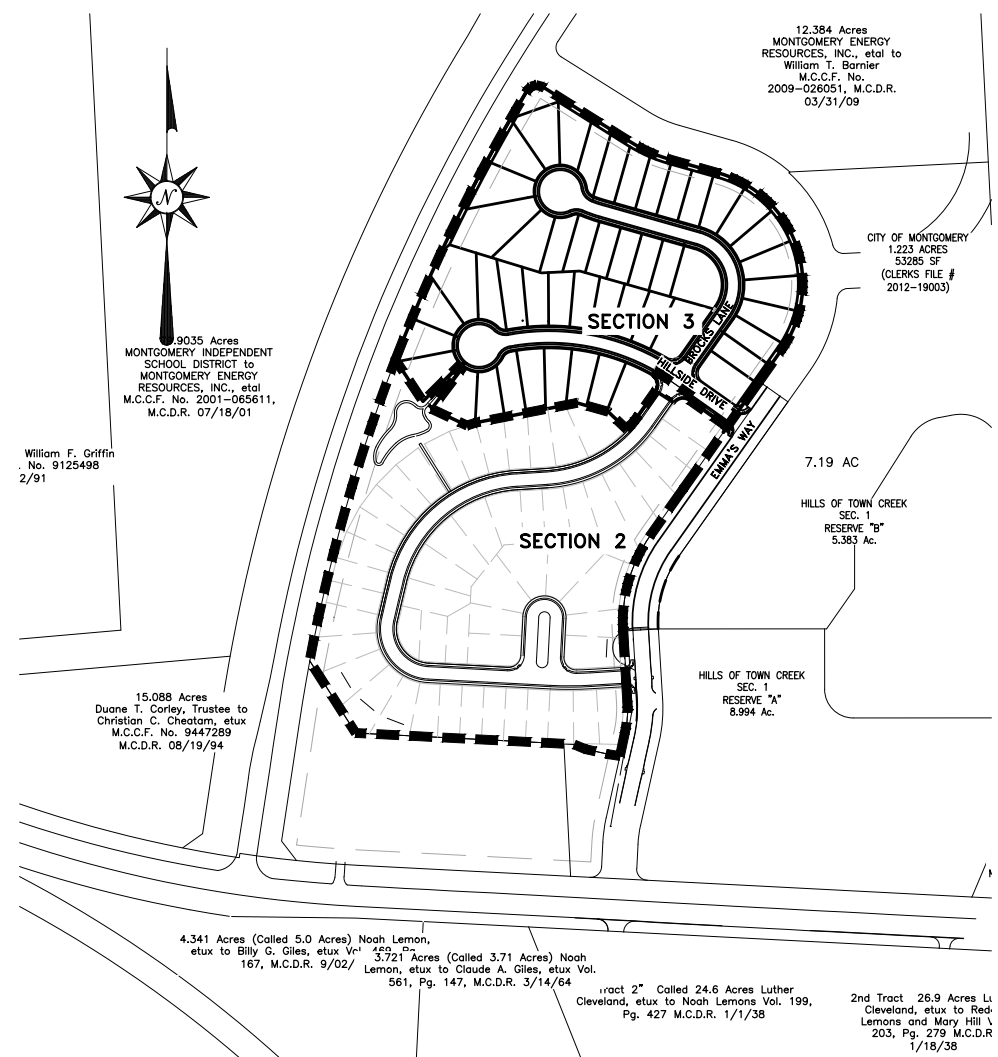
PROJECT ADDRESS
 EMMA'S WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
COVER SHEET

INDEX

DETAIL:	TITLE:	DETAIL:	TITLE:
1	COVER SHEET	15	DRAINAGE CALCULATIONS
2	EXISTING CONDITIONS SURVEY & DEMOLITION PLAN	16	TEMPORARY SWPPP
3	TREE INVENTORY PLAN	17	PERMANENT SWPPP
4	DIMENSIONAL PLAN	18	CONSTRUCTION NOTES
5	GRADING PLAN	19	WATERLINE DETAILS
6	UTILITY PLAN	20	SANITARY SEWER DETAILS
7	CONDUIT PLAN	21	STORM SEWER DETAILS
8	HILLSIDE DRIVE PLAN & PROFILE STA 0+00 - 4+00	22	PAVING DETAILS
9	HILLSIDE DRIVE PLAN & PROFILE STA 4+00 - END	23	SWPPP DETAILS
10	BROCKS LANE PLAN & PROFILE STA 0+00 - 3+50	23	REFERENCE SHEET: HILLS OF TOWN CREEK SECTION 2 DRAINAGE PLAN
11	BROCKS LANE PLAN & PROFILE STA 3+50 - END	24	REFERENCE SHEET: FINAL PLAT
12	STORM SEWER OUTFALL PLAN & PROFILE	25	REFERENCE SHEET: CONCEPTUAL LANDSCAPING PLAN
13	OVERALL DRAINAGE PLAN		
14	DRAINAGE PLAN		

Provide in plan set



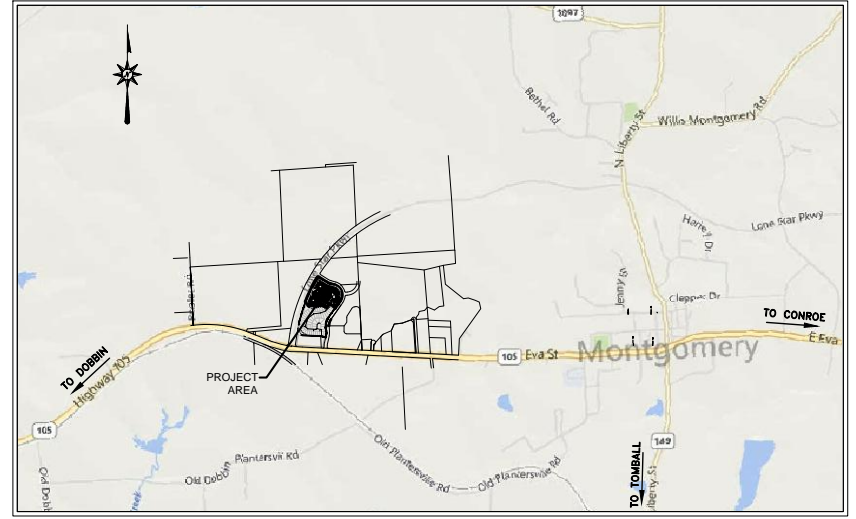
ENGINEER'S CERTIFICATION:
 I CERTIFY THAT THESE PLANS WHICH BEAR MY SEAL HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND ARE IN COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REQUIREMENTS. THIS PROPOSED SITE WILL NOT IMPED THE FLOW OF SURFACE WATERS FROM HIGHER ADJACENT PROPERTIES, WILL NOT ALTER THE NATURAL FLOW OF SURFACE WATERS SO AS TO DISCHARGE THEM UPON ADJACENT PROPERTIES AT A MORE RAPID RATE OR IN A DIFFERENT LOCATION, AND WILL NOT CONCENTRATE FLOWS OF SURFACE WATERS IN A MANNER WHICH EXCEEDS THE CAPACITY OF THE RECEIVING WATERCOURSE.

CIVIL NOTE:
 FIELD VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS INCLUDING PAVEMENT AND UTILITY TIE-INS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ALL DISCREPANCIES PRIOR TO BEGINNING ANY WORK.

TDLR NOTE:
 TEXAS DEPARTMENT OF LICENSING AND REGISTRATION (TDLR) NUMBER REQUIRED FOR ALL PROPOSED COMMERCIAL BUILDINGS. **IF TDLR NUMBER IS NOT PRESENT, CLIENT IS RESPONSIBLE FOR ACQUIRING REGISTRATION NUMBER PRIOR TO CONSTRUCTION.

LEGAL DESCRIPTION:
 12.38 ACRES OF LAND BEING PART OF THE REMAINDER OF THAT CERTAIN 79.9035 ACRE TRACT OF LAND CONVEYED FROM MONTGOMERY INDEPENDENT SCHOOL DISTRICT TO MONTGOMERY ENERGY RESOURCES, INC., ETAL BY A DEED DATED JULY 18, 2001 AND RECORDED UNDER CLERK'S FILE NO. 2001-065611, OF THE DEED RECORDS OF MONTGOMERY COUNTY, TEXAS (M.C.D.R.), SAME BEING THE 0.954 ACRE PART OF THAT CERTAIN 15.088 ACRE TRACT OF LAND CONVEYED FROM CALLIE LOUISE CLEVELAND AND MONTY GENE SOLLOCK TO CHRISTIAN C. CHEATAM, ETUX BY A DEED DATED NOVEMBER 28, 1994 AND RECORDED UNDER CLERK'S FILE NO. 9466409, M.C.D.R., AND BEING THE 2.755 ACRE PART OF THAT CERTAIN 15.088 ACRE TRACT OF LAND CONVEYED FROM DUANE T. CORLEY, TRUSTEE TO CHRISTIAN C. CHEATAM, ETUX BY A DEED DATED AUGUST 19, 1994 AND RECORDED UNDER CLERK'S FILE NO. 9447289, M.C.D.R., LYING IN THE BENJAMIN RIGBY LEAGUE, ABSTRACT 31, NEAR MONTGOMERY, MONTGOMERY COUNTY, TEXAS.

FLOODPLAIN NOTE:
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 4839C0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN



PROJECT LOCATION
 SCALE: N.T.S.

ONE-CALL NOTIFICATION SYSTEM
 CALL BEFORE YOU DIG!!!
 (713) 223-4567 (in Houston)
 (New Statewide Number Outside Houston)
 1-800-545-6005

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION			
PROJECT	TDLR	CHECKED	ELL
10631			
SCALE		SHEET	
1" = 200' (24x36)		1	
1" = 400' (11x17)			



CITY OF MONTGOMERY, CITY ENGINEER
 SIGNATURE VALID FOR ONE (1) YEAR

DATE: 10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



SCALE: HORIZ. T = 100'

79.9035 Acres
MONTGOMERY INDEPENDENT
SCHOOL DISTRICT TO
MONTGOMERY ENERGY
RESOURCES, INC., et al
M.C.C.F. No. 2001-065611,
M.C.D.R. 07/18/01

5.088 Acres
Corley, Trustee to
C. Cheatum, et ux
.F. No. 9447289
D.R. 08/19/94

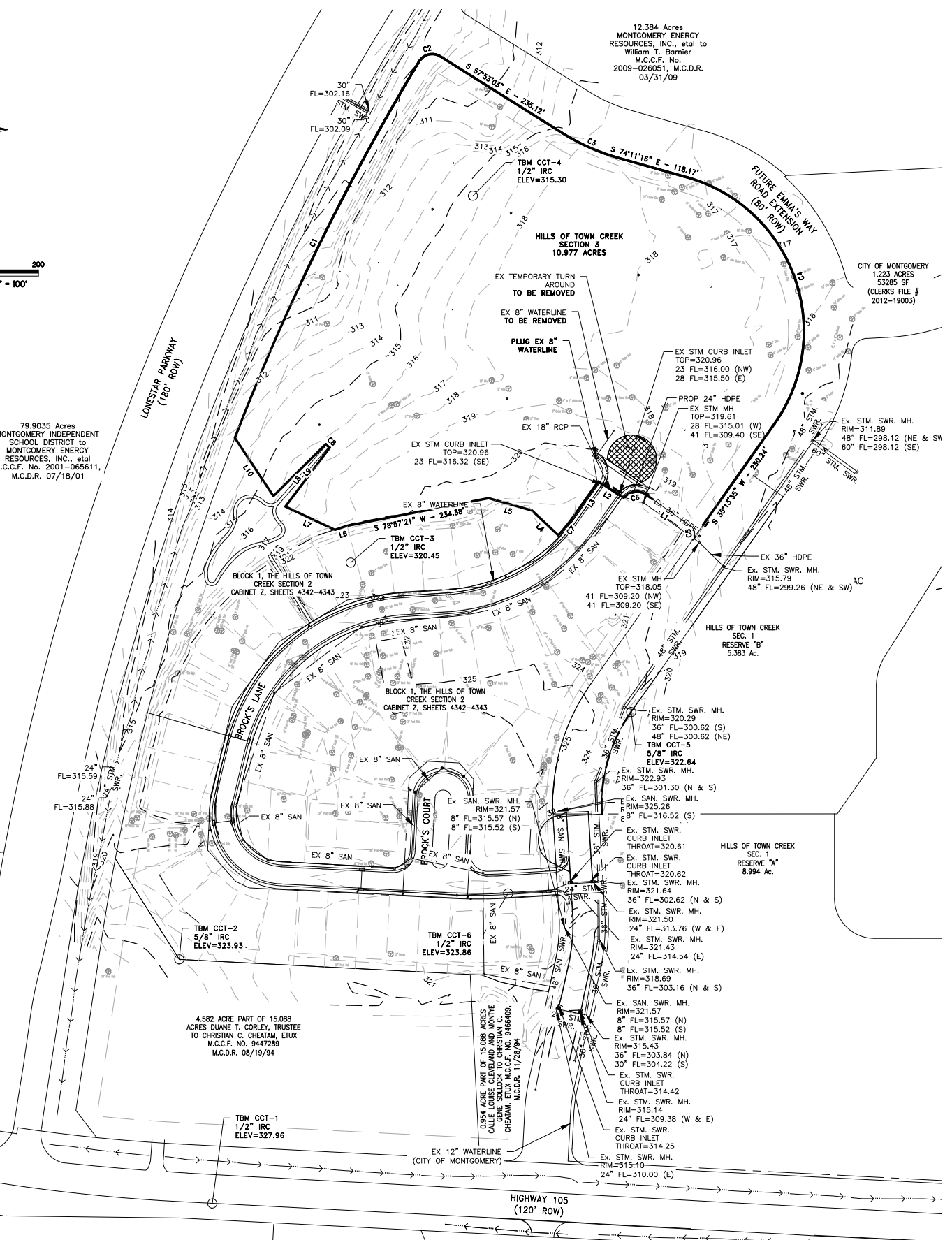
4.582 ACRE PART OF 15.088
ACRES DUANE T. CORLEY, TRUSTEE
TO CHRISTIAN C. CHEATAM, ET UX
M.C.C.F. NO. 9447289
M.C.D.R. 08/19/94

0.954 ACRE PART OF 15.088 ACRES
RELAYED TO CHRISTIAN C.
CHEATAM, ET UX M.C.C.F. NO. 9447289
M.C.D.R. 11/29/94

12.384 Acres
MONTGOMERY ENERGY
RESOURCES, INC., et al to
William T. Barrier
M.C.C.F. No.
2009-026051, M.C.D.R.
03/31/09

CITY OF MONTGOMERY
1.223 ACRES
53285 SF
(CLERKS FILE #
2012-19003)

HILLS OF TOWN CREEK
SEC. 1
RESERVE "A"
8.994 Ac.



LEGAL DESCRIPTION
12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-065611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Collie Louise Cleveland and Monte Gene Sollock to Christian C. Cheatum, et ux by a deed dated November 28, 1994 and recorded under Clerk's File No. 94466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Cheatum, et ux by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGAL DESCRIPTION
THE ELEVATIONS SHOWN HEREON ARE BASED ON F.E.M.A. BENCHMARK, RM 138, ELEV=308.88, 1973 ADJUSTMENT OF 1929 N.G.V.D.

FLOODPLAIN NOTE:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 48338C0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADDED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN

LEGEND

---	100	EXISTING MAJOR CONTOUR LINE
---	100	EXISTING MINOR CONTOUR LINE
---	100	PROPOSED MAJOR CONTOUR LINE
---	100	PROPOSED MINOR CONTOUR LINE
---		PROPERTY LINE
---		EXISTING SANITARY SEWER
---		EXISTING WATERLINE
---		EXISTING STORM SEWER
---		EXISTING EASEMENT
---		EXISTING BUILDING LINE
---		EXISTING POWERLINE
---		EXISTING DITCH
---		EXISTING HIGH BANK
---		EXISTING TOE OF BANK
---		EXISTING FENCE
---		PROPOSED STORM SEWER
---		PROPOSED STORM SWALE
---		PROPOSED SANITARY SEWER
---		PROPOSED WATERLINE
---		PROPOSED PAVEMENT
---		PROPOSED HIGH BANK
---		PROPOSED EASEMENT
---		PROPOSED STREET LIGHTS
---		PROPOSED MAILBOX CLUSTER
---		PROPOSED 51,568 SF 6" CONC PAVEMENT
---		PROPOSED 14,935 SF 4" CONC SIDEWALK

LINE TABLE

LINE	BEARING	DISTANCE
L11	N 50°10'17" E	23.65'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BRG.	CHORD DIST.
C9	95°48'46"	25.00'	41.81'	27.67'	S 12°39'48" E	37.10'
C10	40°04'42"	475.00'	332.26'	173.25'	S 80°36'32" E	325.53'
C11	52°40'55"	25.00'	22.99'	12.38'	N 53°00'40" E	22.19'
C12	100°20'17"	60.00'	105.07'	71.94'	N 76°50'21" E	92.15'
C13	179°19'41"	60.00'	187.79'	102.33.75'	S 44°55'31" W	120.00'
C14	55°00'18"	25.00'	24.00'	13.02'	N 72°54'47" W	23.09'
C15	40°54'20"	525.00'	374.82'	195.80'	N 79°57'46" W	366.91'
C16	85°14'49"	25.00'	37.20'	23.01'	S 77°51'59" W	33.86'
C17	109°24'50"	85.00'	162.32'	120.08'	S 19°27'51" E	138.76'
C18	7°32'28"	325.00'	42.78'	21.42'	S 70°24'02" E	42.75'
C19	48°57'23"	25.00'	21.22'	11.29'	N 89°03'51" E	20.58'
C20	28°28'06"	60.00'	301.04'	-44.02'	S 28°28'52" W	70.98'
C21	60°53'56"	25.00'	26.57'	14.70'	N 38°14'02" W	25.34'
C22	5°29'15"	275.00'	26.34'	13.18'	N 71°25'38" W	26.33'
C23	109°24'50"	135.00'	257.80'	190.72'	N 19°27'51" W	220.38'
C24	90°00'00"	25.00'	39.27'	25.00'	S 94°52'25" E	35.36'
C25	90°00'59"	15.00'	23.57'	15.00'	S 80°14'05" W	21.22'

LSQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL

WWW.LSQUAREDENGINEERING.COM

23123 EVA STREET #200
MONTGOMERY, TEXAS 77356
OFFICE: 281-445-0400

8505 TECHNOLOGY FOREST PL #202
THE WOODLANDS, TEXAS 77381
OFFICE: 281-447-0800

CLIENT INFORMATION
STYLECRAFT BUILDINGS, INC
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3

EXISTING CONDITIONS SURVEY & DEMOLITION PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	SHEET		
1" = 100' (24x36)	2		
1" = 200' (11x17)			



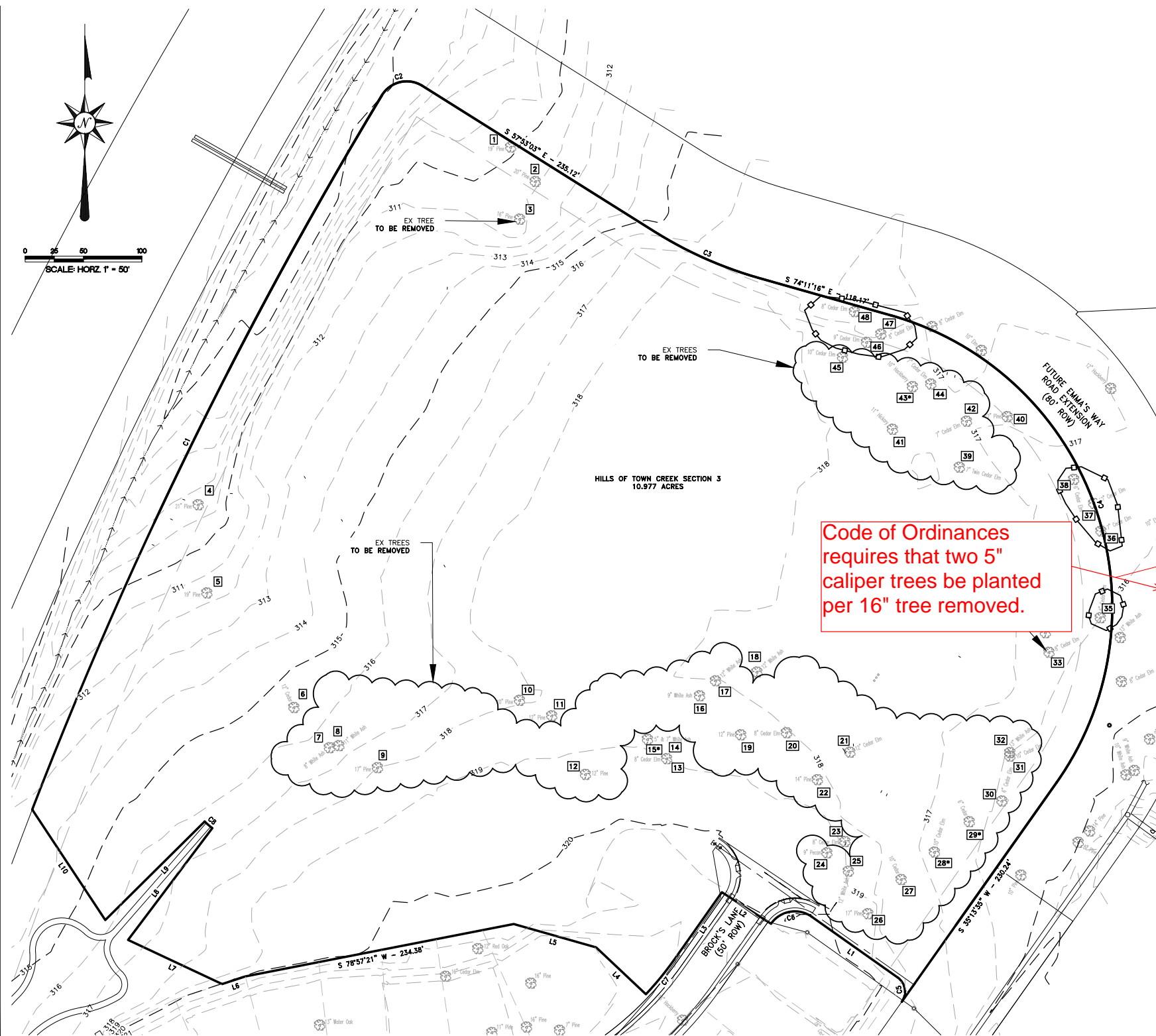
CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE
10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



SCALE: HORIZ T = 50'



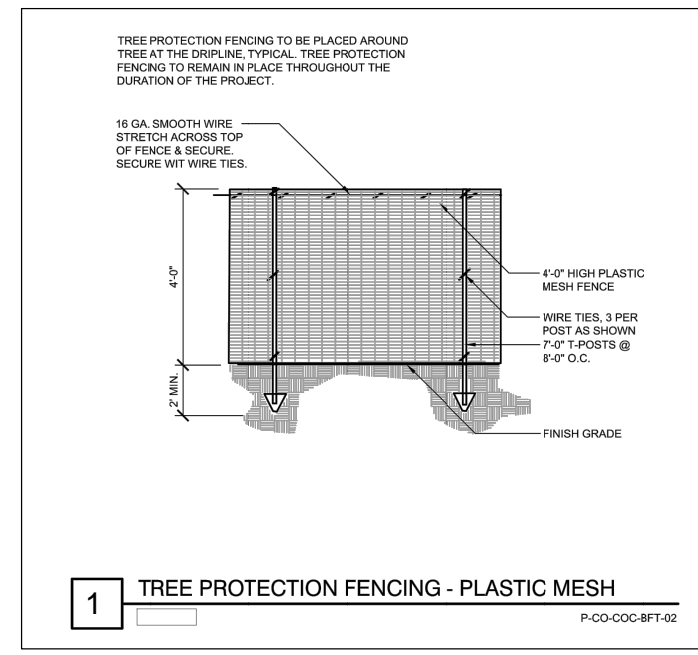
LEGAL DESCRIPTION
12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-069611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Callie Louise Cleveland and Montye Gene Sallick to Christian C. Chestnut, et al by a deed dated November 28, 1994 and recorded under Clerk's File No. 9466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Chestnut, et al by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGEND

---	100	EXISTING MAJOR CONTOUR LINE
---	100	EXISTING MINOR CONTOUR LINE
---	100	PROPOSED MAJOR CONTOUR LINE
---	100	PROPOSED MINOR CONTOUR LINE
---		PROPERTY LINE
---		EXISTING SANITARY SEWER
---		EXISTING WATERLINE
---		EXISTING STORM SEWER
---		EXISTING EASEMENT
---		EXISTING BUILDING LINE
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---		EXISTING HIGH BANK
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---		PROPOSED STORM SWALE
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---		PROPOSED HIGH BANK
---		PROPOSED EASEMENT
---		PROPOSED STREET LIGHTS
---		PROPOSED MAILBOX CLUSTER
---		PROPOSED 51,568 SF 6" CONC PAVEMENT
---		PROPOSED 14,935 SF 4" CONC SIDEWALK

Code of Ordinances requires that two 5" caliper trees be planted per 16" tree removed.

TOTAL CALIPER INCHES 6-11" 243"
TOTAL CALIPER INCHES ≥ 12" 264"
TOTAL # OF TREES TO BE REMOVED ≥ 16" 3
20% OF TOTAL EXISTING CALIPER INCHES 6-11" 49"
TOTAL PROTECTED TREES TO BE REMOVED 295"
LESS 20% OF TOTAL EX CALIPER INCHES 6"-11"-49"
TOTAL CALIPER INCHES REQ'D TO BE REPLACED 246"
113 - 2" CALIPER TREES TO BE PLANTED 226"
3 - 5" CALIPER TREES TO BE PLANTED 15"
CREDIT FOR SAVING EX NO-PROTECTED TREES 5"
TOTAL CALIPER INCHES TO BE PLANTED 246"
* NON-PROTECTED TREES



1 TREE PROTECTION FENCING - PLASTIC MESH

LS SQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.LSQUAREDENGINEERING.COM
PRO REGISTRATION NUMBER 111235
23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #202
MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 936-445-0420 OFFICE: 936-447-0820

CLIENT INFORMATION
STYLICRAFT BUILDINGS, INC
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845
PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3

TREE INVENTORY PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

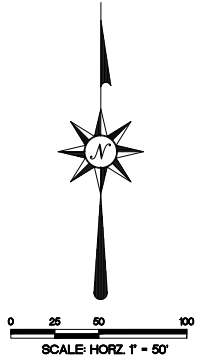
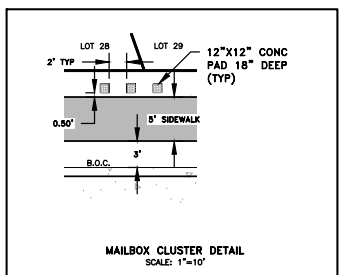
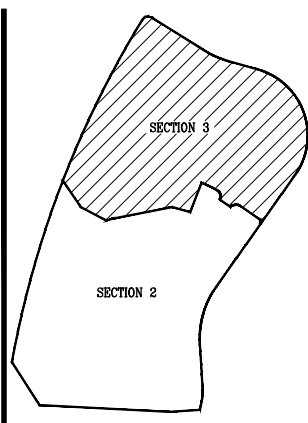
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE		SHEET	3
1" = 50' (24x36)			
1" = 100' (11x17)			



CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE 10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



LEGAL DESCRIPTION
 12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-065611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Collie Louise Cleveland and Monty Gene Sallick to Christian C. Chestnut, et al by a deed dated November 28, 1994 and recorded under Clerk's File No. 9466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Chestnut, et al by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGAL DESCRIPTION
 THE ELEVATIONS SHOWN HEREON ARE BASED ON F.E.M.A. BENCHMARK, RM 136, ELEV=308.88, 1973 ADJUSTMENT OF 1929 N.G.V.D.

FLOODPLAIN NOTE:
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 48338C0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADDED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN

LEGEND

- 100— EXISTING MAJOR CONTOUR LINE
- 100— EXISTING MINOR CONTOUR LINE
- 100— PROPOSED MAJOR CONTOUR LINE
- 100— PROPOSED MINOR CONTOUR LINE
- PROPERTY LINE
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
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- EXISTING EASEMENT
- EXISTING BUILDING LINE
- EXISTING POWERLINE
- EXISTING DITCH
- EXISTING HIGH BANK
- EXISTING TOE OF BANK
- EXISTING FENCE
- PROPOSED STORM SEWER
- PROPOSED STORM SWALE
- PROPOSED SANITARY SEWER
- PROPOSED WATERLINE
- PROPOSED PAVEMENT
- PROPOSED HIGH BANK
- PROPOSED EASEMENT
- PROPOSED STREET LIGHTS
- PROPOSED MAILBOX CLUSTER
- PROPOSED 51,568 SF 6" CONC PAVEMENT
- PROPOSED 14,935 SF 4" CONC SIDEWALK

APPROVED VARIANCES JUNE 9 2015

1. REDUCTION IN MINIMUM LOT WIDTH
 2. REDUCTION IN MINIMUM LOT AREA
 3. REDUCTION IN STREET RADIUS
- * COMPENSATING GREENSPACE WITH BE MAINTAINED BY P.O.A.

NOTE:

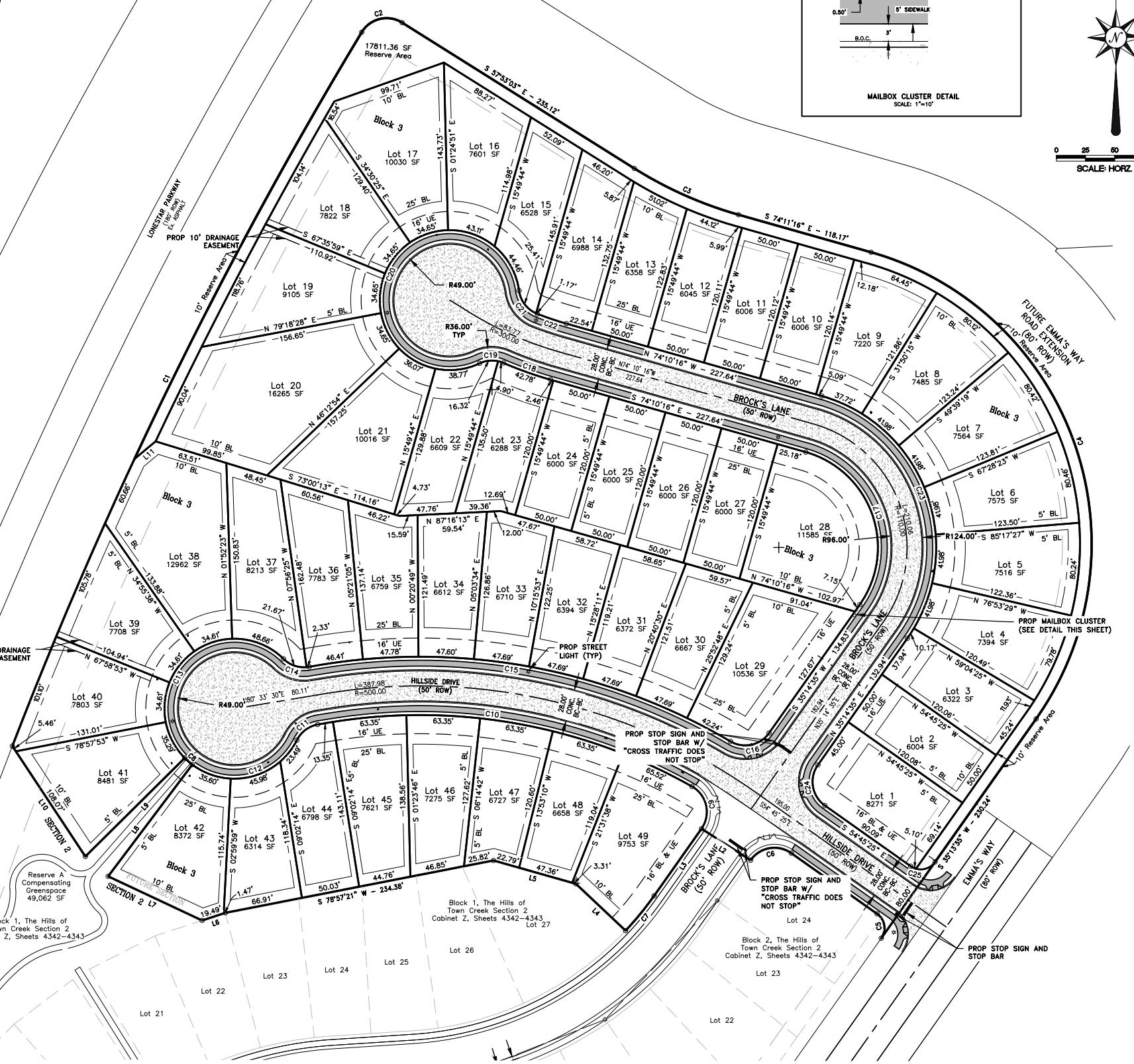
SIDEWALK INSTALLATION IS THE RESPONSIBILITY OF THE HOME BUILDER AND MUST BE COMPLETED PRIOR TO THE CITY ISSUING THE CERTIFICATE OF OCCUPANCY.

LINE TABLE

LINE	BEARING	DISTANCE
L11	N 50°10'17" E	23.65'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BRG.	CHORD DIST.
C9	95°48'46"	25.00'	41.81'	27.67'	S 12°39'48" E	37.10'
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C13	179°19'41"	60.00'	187.79'	102.33.75'	S 44°55'31" W	120.00'
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C20	28°28'06"	60.00'	301.04'	-44.02'	S 28°28'52" W	70.98'
C21	60°53'56"	25.00'	26.57'	14.70'	N 38°14'02" W	25.34'
C22	5°29'15"	275.00'	26.34'	13.18'	N 71°25'38" W	26.33'
C23	109°24'50"	135.00'	257.80'	190.72'	N 19°27'51" W	220.38'
C24	90°00'00"	25.00'	39.27'	25.00'	S 94°52'5" E	35.36'
C25	90°00'59"	15.00'	23.57'	15.00'	S 80°14'05" W	21.22'



HILLS OF TOWN CREEK SECTION 3 DIMENSIONAL PLAN

LS SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.LSQUAREDENGINEERING.COM
 23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #502
 MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
 OFFICE: 281-445-9200 OFFICE: 281-447-0800

CLIENT INFORMATION
 STYLECRAFT BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH
 COLLEGE STATION, TX 77845

PROJECT ADDRESS
 EMMA'S WAY
 MONTGOMERY TEXAS

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

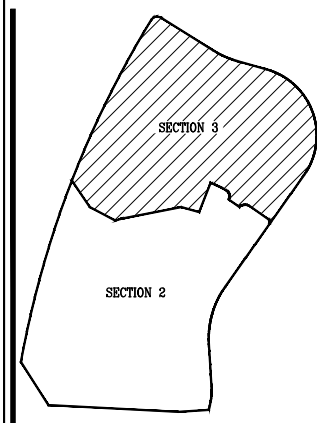
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	1" = 50' (24x36)		
	1" = 100' (11x17)		
SHEET	4		



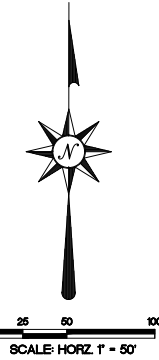
CITY OF MONTGOMERY, CITY ENGINEER SIGNATURE VALID FOR ONE (1) YEAR DATE

10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



12.384 Acres
MONTGOMERY ENERGY
RESOURCES, INC., et al to
William T. Barnier
M.C.C.F. No.
2009-024601, M.C.D.R.
03/31/09



LEGAL DESCRIPTION
12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-065611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Colie Louise Cleveland and Monte Gene Siskick to Christian C. Chestnut, et al by a deed dated November 28, 1994 and recorded under Clerk's File No. 9466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Chestnut, et al by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGAL DESCRIPTION
THE ELEVATIONS SHOWN HEREON ARE BASED ON F.E.M.A. BENCHMARK, RM 136, ELEV=308.88, 1973 ADJUSTMENT OF 1929 N.G.V.D.

FLOODPLAIN NOTE:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 4833C0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADDED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN

- LEGEND**
- 100— EXISTING MAJOR CONTOUR LINE
 - 100— EXISTING MINOR CONTOUR LINE
 - 100— PROPOSED MAJOR CONTOUR LINE
 - 100— PROPOSED MINOR CONTOUR LINE
 - — — — — PROPERTY LINE
 - — — — — EXISTING SANITARY SEWER
 - — — — — EXISTING WATERLINE
 - — — — — EXISTING STORM SEWER
 - — — — — EXISTING EASEMENT
 - — — — — EXISTING BUILDING LINE
 - — — — — EXISTING POWERLINE
 - — — — — EXISTING DITCH
 - — — — — EXISTING HIGH BANK
 - — — — — EXISTING TOE OF BANK
 - — — — — EXISTING FENCE
 - — — — — PROPOSED STORM SEWER
 - — — — — PROPOSED STORM SWALE
 - — — — — PROPOSED SANITARY SEWER
 - — — — — PROPOSED WATERLINE
 - — — — — PROPOSED PAVEMENT
 - — — — — PROPOSED HIGH BANK
 - — — — — PROPOSED EASEMENT
 - — — — — PROPOSED STREET LIGHTS
 - — — — — PROPOSED MAILBOX CLUSTER
 - — — — — PROPOSED 51,568 SF 6" CONC PAVEMENT
 - — — — — PROPOSED 14,935 SF 4" CONC SIDEWALK
 - 323.00 EXISTING ELEVATION POINT
 - TC=323.00 PROPOSED TOP OF CURB
 - FL=323.00 PROPOSED FLOWLINES AT LOT LINE SWALES
 - PAD=323.00 PROPOSED PAD ELEVATION
 - TW=323.00 TOP OF WALK
 - ◇ A TYPE A GRADING (TO FRONT)
 - ◇ B TYPE B GRADING (TO REAR)
 - ◇ AB TYPE AB GRADING (TO FRONT & REAR)
 - — — — — PROP LOT LINE SWALE
 - 1.0% SLOPE

- GRADING NOTES:**
- OWNER, CLIENTS AND/OR CONTRACTORS SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCED OF PAVEMENT PLACEMENT FOR A MANDATORY FORM AND/OR "BLUE TOP" INSPECTION. USE OF THESE PLANS IS CONTINGENT UPON ACCEPTANCE OF THIS NOTE.
 - ADDITIONAL GRADING DESIGN AND DETAILS MAY BE PROVIDED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL ESTABLISH GRADE CONTROL TO PROVIDED ELEVATIONS ON STREETS, LOT PADS, SWALES AND OTHER DRAINAGE FEATURES TO WITHIN A 1" TOLERANCE AS SHOWN ON THE PLANS.
 - FILL MATERIAL USED IN LOT PAD AREAS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - MAXIMUM PLASTICITY INDEX: 20
 - MINIMUM PLASTICITY INDEX: 3
 - MINIMUM AND MAXIMUM PASSING #200 SIEVE: 10% TO 70%
 - NO STONES LARGER THAN 1-1/2"
 - COMPACTION SHOULD BE 95 PERCENT OF MAXIMUM LABORATORY DENSITY DETERMINED IN ACCORDANCE WITH AMERICAN SOCIETY OF TESTING MATERIALS, METHOD ASTM D 698, USING A COMPACTIVE EFFORT OF 7.16 FOOT-LBS/IN³
 - FILL SHALL BE PLACED IN MAXIMUM OF 8" LIFTS. EACH LIFT SHOULD BE INSPECTED AND TESTED FOR DENSITY COMPLIANCE BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING THE NEXT LIFT. THE CONTRACTOR MAY TEST UP TO A TOTAL OF 12" AT A TIME. IF THE CONTRACTOR CHOOSES TO TEST 12" INSTEAD OF 8" THE 12" SHALL HAVE BEEN INSTALLED IN TWO-SIX INCH LIFTS.
 - CONTRACTOR SHALL PROVIDE A 110 LB SAMPLE OF PROPOSED FILL MATERIAL TO THE GEOTECHNICAL ENGINEER FOR APPROVAL AND FOR DETERMINATION OF MOISTURE-DENSITY RELATIONSHIP IN ADVANCE OF FILLING AND COMPACTION OPERATIONS TO PERMIT INSPECTION AND TESTING AS FILL IS PLACED. NOT LESS THAN ONE FILED DENSITY TEST PER 2000 SQUARE FEET OR MINIMUM OF 3 PER LIFT IS REQUIRED.
 - CONTRACTOR TO REMOVE AND STALK PILE TOP 6" OF TOP SOIL MATERIAL FROM ENTIRE SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL THEN REPLACE AND SPREAD TOP SOIL ON ENTIRE SITE TO MATCH FINAL GRADE SHOWN ON THE PLANS.

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MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.LSQUAREDENGINEERING.COM
PRO REGISTRATION NUMBER: 11335
23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #502
MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 936-447-0800

CLIENT INFORMATION
STYLICKRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
GRADING PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	1" = 50' (24x36)	SHEET	5
	1" = 100' (11x17)		

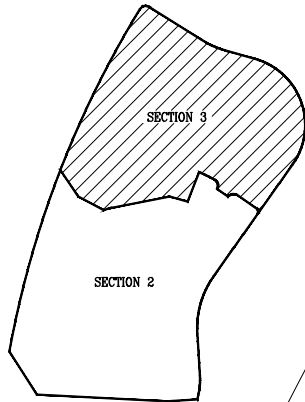


CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

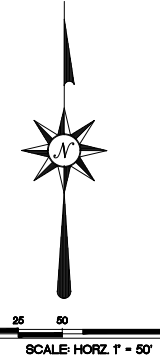
DATE

10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



12.384 Acres
MONTGOMERY ENERGY
RESOURCES, INC., et al to
William T. Barnier
M.C.C.F. No.
2009-026051, M.C.D.R.
03/31/09



LEGAL DESCRIPTION
12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-065611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Colie Louise Cleveland and Monty Gene Salbeck to Christian C. Chestnut, et al by a deed dated November 28, 1994 and recorded under Clerk's File No. 9466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Chestnut, et al by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGAL DESCRIPTION
THE ELEVATIONS SHOWN HEREON ARE BASED ON F.E.M.A. BENCHMARK, RM 136, ELEV=308.88, 1973 ADJUSTMENT OF 1929 N.G.V.D.

FLOODPLAIN NOTE:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 4839C0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADDED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN

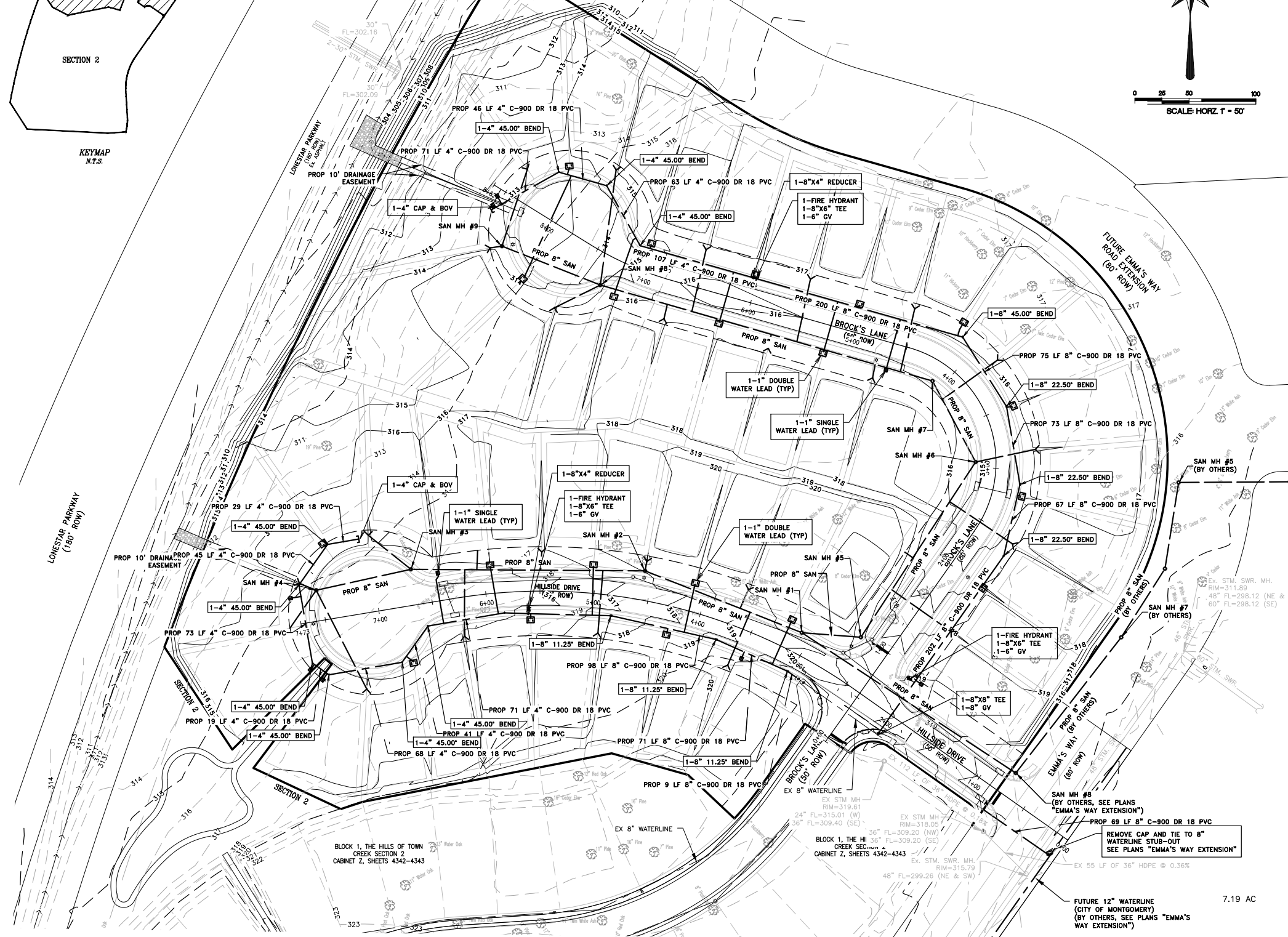
LEGEND

---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	PROPOSED MAJOR CONTOUR LINE
---	PROPOSED MINOR CONTOUR LINE
---	PROPERTY LINE
---	EXISTING SANITARY SEWER
---	EXISTING WATERLINE
---	EXISTING STORM SEWER
---	EXISTING EASEMENT
---	EXISTING BUILDING LINE
---	EXISTING POWERLINE
---	EXISTING DITCH
---	EXISTING HIGH BANK
---	EXISTING TOE OF BANK
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---	PROPOSED 51,568 SF 6" CONC PAVEMENT
---	PROPOSED 14,935 SF 4" CONC SIDEWALK

WATER LINE-SANITARY SEWER CROSSING NOTES:

CONSTRUCT WATER LINE-SANITARY SEWER CROSSING PER THE FOLLOWING REQUIREMENTS:

- PROVIDE MINIMUM 2' VERTICAL CLEARANCE
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1-20' JOINT (SEE NOTE C)
 - SANITARY SEWER
1-20' JOINT (SEE NOTE B)
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1-20' JOINT W/ STEEL CASING (SEE NOTE C)
 - SANITARY SEWER
1-20' JOINT (SEE NOTE B)



LSQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.LSQUAREDENGINEERING.COM
PRO REGISTRATION NUMBER 11335
23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #502
MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 281-445-9200 OFFICE: 281-447-0800

CLIENT INFORMATION
STILECRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
UTILITY PLAN

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

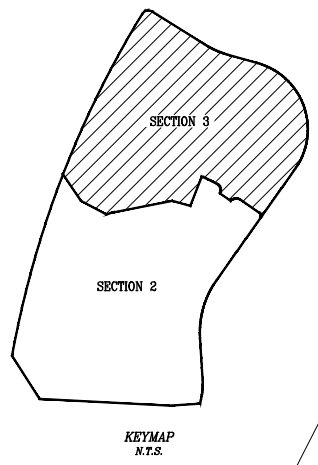
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	1" = 50' (24x36)	SHEET	6
	1" = 100' (11x17)		



CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE 10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



12.384 Acres
MONTGOMERY ENERGY
RESOURCES, INC., et al to
William T. Barnier
M.C.C.F. No.
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LEGEND

	100	EXISTING MAJOR CONTOUR LINE
	100	EXISTING MINOR CONTOUR LINE
	100	PROPOSED MAJOR CONTOUR LINE
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		PROPERTY LINE
		EXISTING SANITARY SEWER
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MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.LSQUAREDENGINEERING.COM
PRO REGISTRATION NUMBER 111325
23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #202
MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 281-445-0420 OFFICE: 281-445-0420

CLIENT INFORMATION
STYLCRAFT BUILDINGS, INC
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845
PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3 CONDUIT PLAN

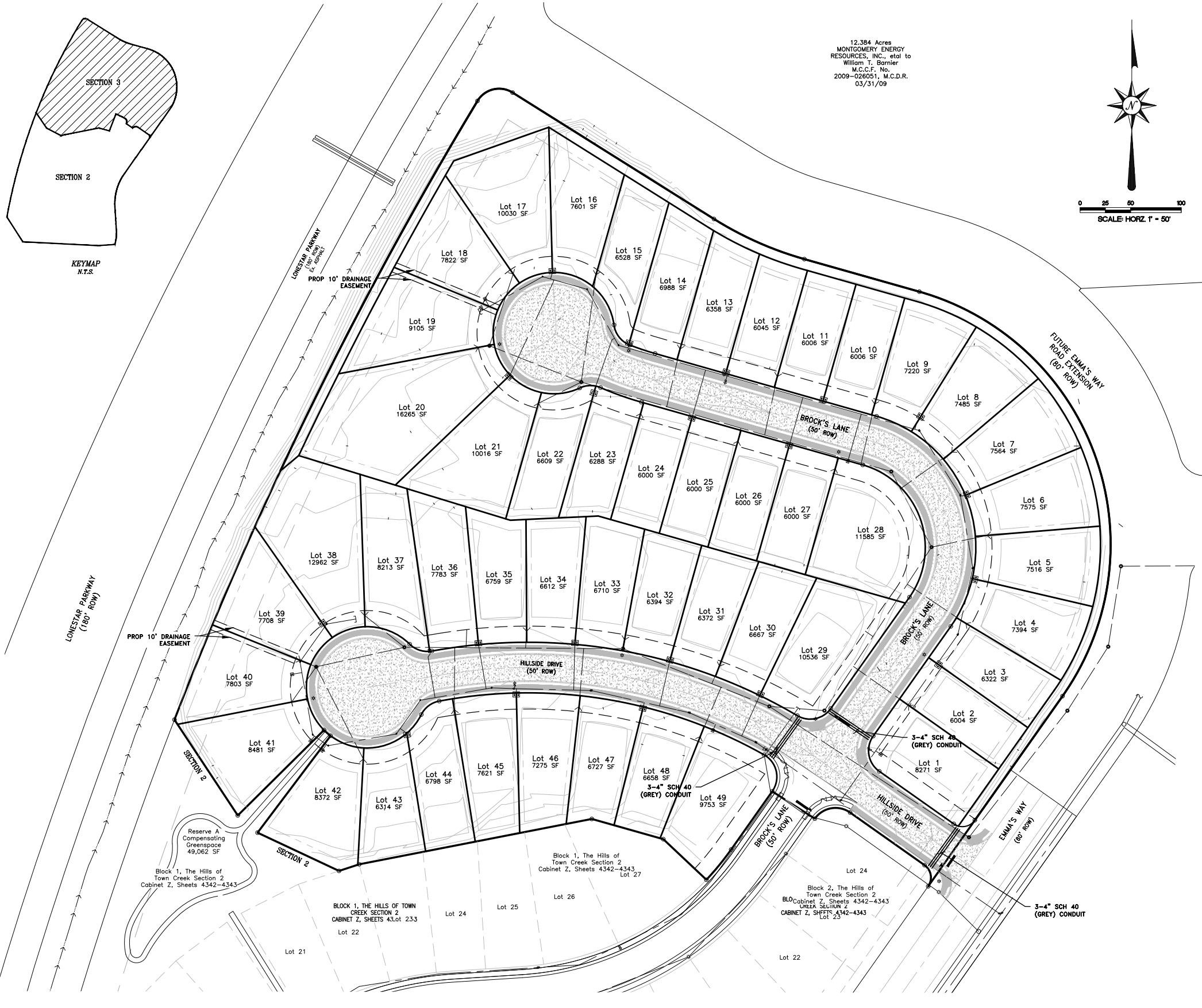
DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	SHEET		7
	1" = 50' (24x36)		
	1" = 100' (11x17)		

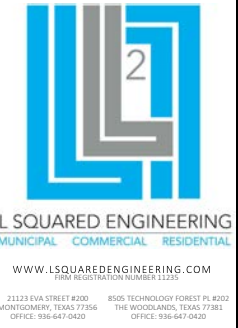
E. LEVI LOVE, JR.
99340
LICENSED PROFESSIONAL ENGINEER
DATE 10/06/2017



CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE

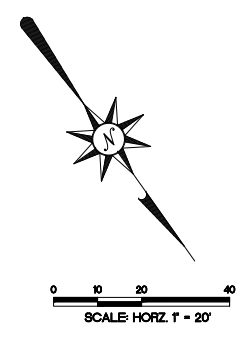
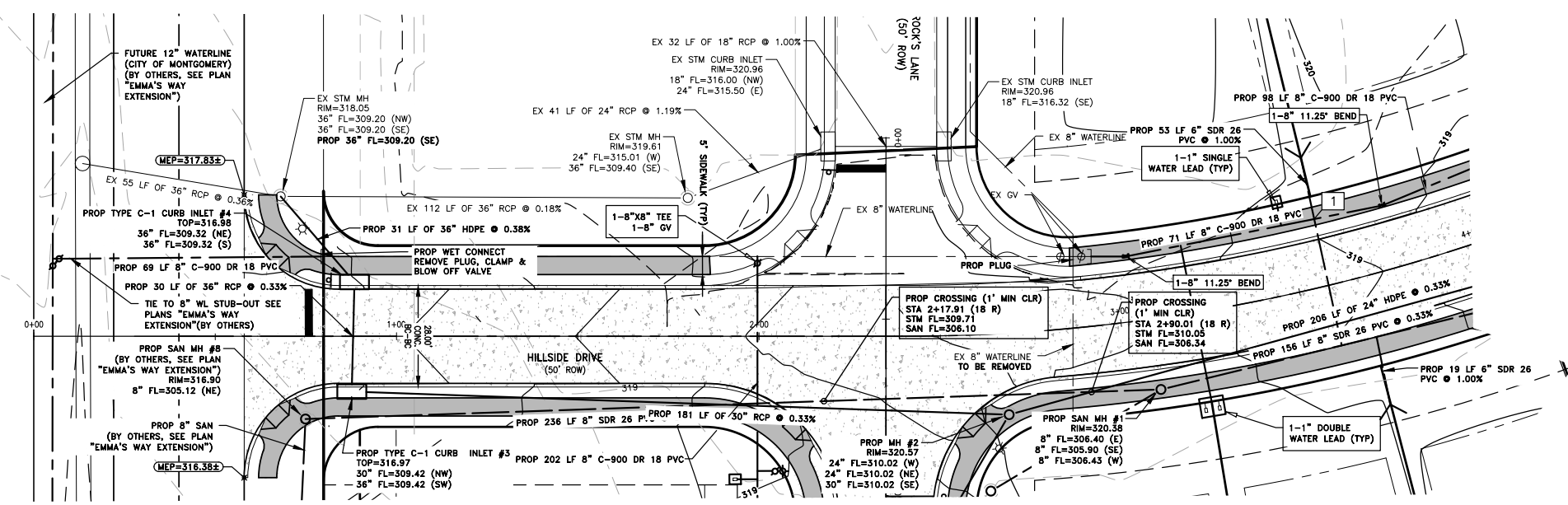
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



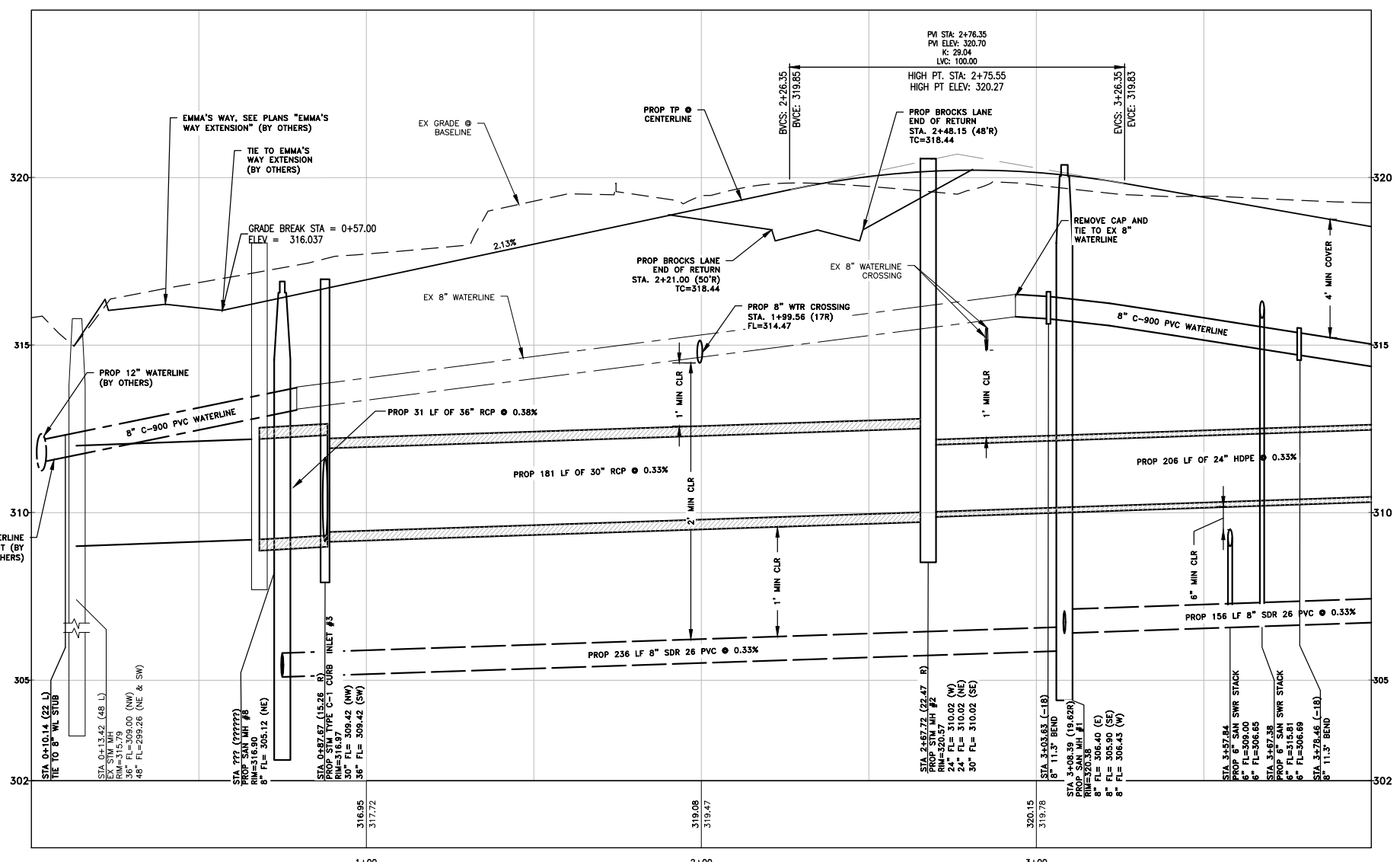
CLIENT INFORMATION
STILLCRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY, TEXAS

HILLS OF TOWN CREEK SECTION 3 HILLSIDE DRIVE PLAN & PROFILE STA 0+00 - 4+00



- NOTE:**
1. FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCY
 2. FAR-SIDE SEWER LEAD STACKS ARE NOT SHOWN FOR CLARITY.



WATER LINE-SANITARY SEWER CROSSING NOTES:

CONSTRUCT WATER LINE-SANITARY SEWER CROSSING PER THE FOLLOWING REQUIREMENTS:

1. A. PROVIDE MINIMUM 2' VERTICAL CLEARANCE
B. PLACE ONE FULL SECTION (MIN. 18 FT) OF WATERLINE CENTERED AT SANITARY SEWER CROSSING. PROVIDE RESTRAINED JOINTS ON WATERLINE, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE SAND, AS PER TAC § 290.44.
C. WHERE A WATERLINE CROSSES A SEWER MAIN OR LATERAL WITHOUT 2' CLEARANCE, WATERLINE MUST BE 6" ABOVE SEWER MAIN OR LATERAL. SEWER MUST HAVE A PRESSURE RATED PIPE OF AT LEAST 150 PSI AND SHALL BE EMBEDDED IN CEMENT STABILIZED SAND FOR A TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12" BEYOND THE JOINT ON EACH END.
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DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE (24"x36")	SHEET		8
1" = 20' (HORZ)			
1" = 2' (VERT)			



CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

DATE _____

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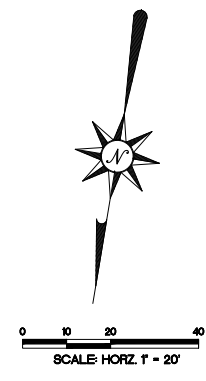
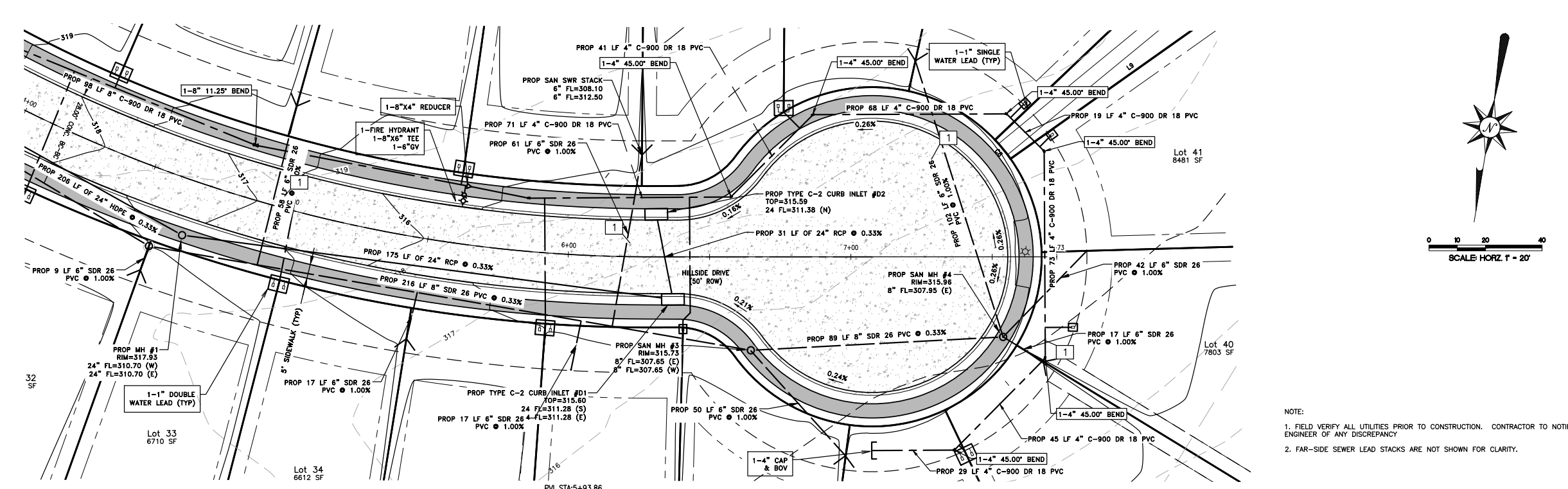
HILLS OF TOWN CREEK SECTION 3 HILLSIDE DRIVE PLAN & PROFILE STA 4+00 - END

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

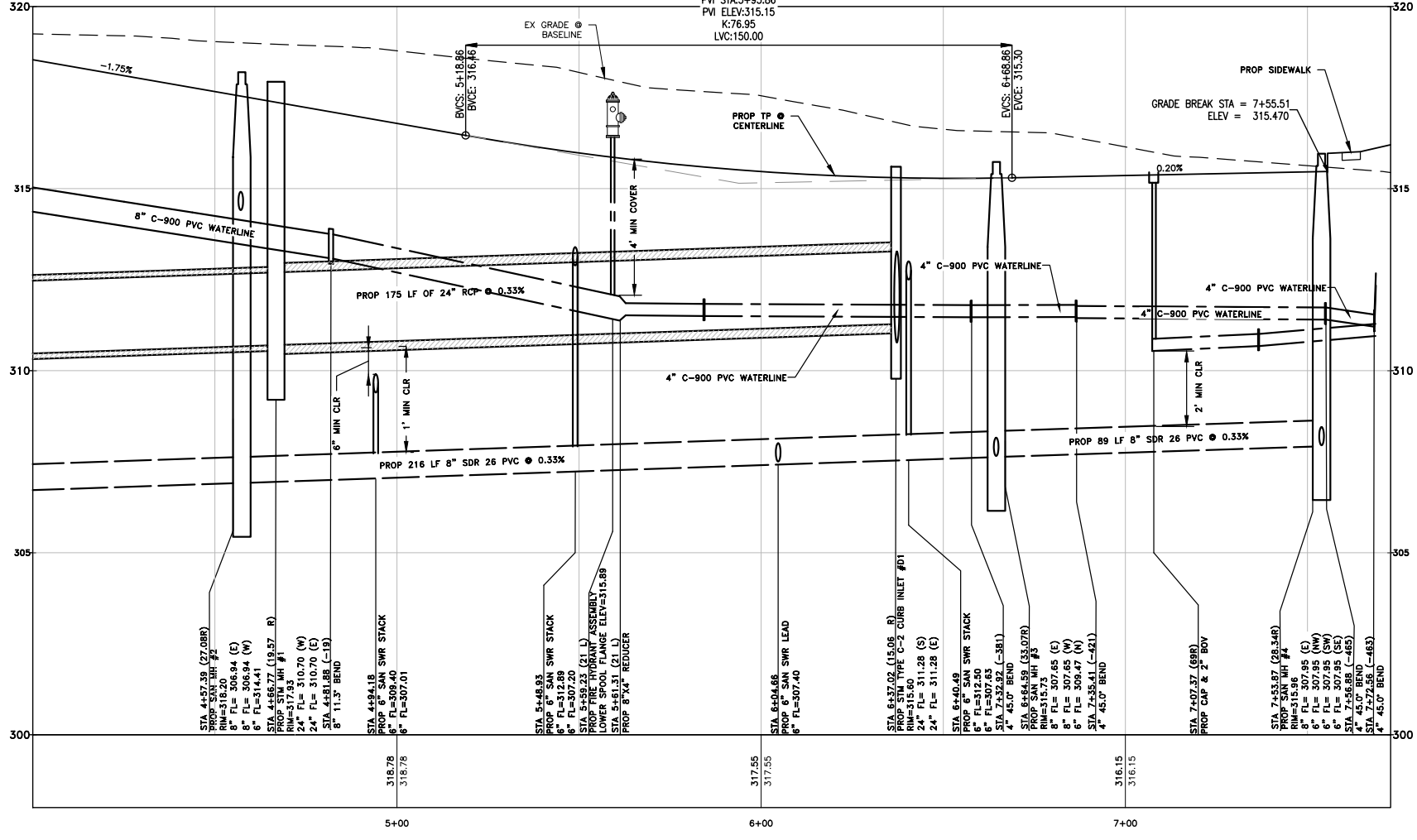
DRAWING INFORMATION			
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE (24"x36")	SHEET		9
1" = 20' (HORZ)	1" = 2' (VERT)		



DATE: 10/06/2017

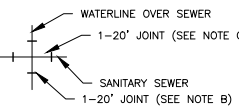


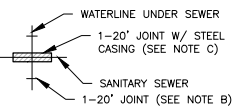
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WATER LINE-SANITARY SEWER CROSSING NOTES:

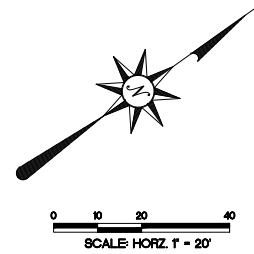
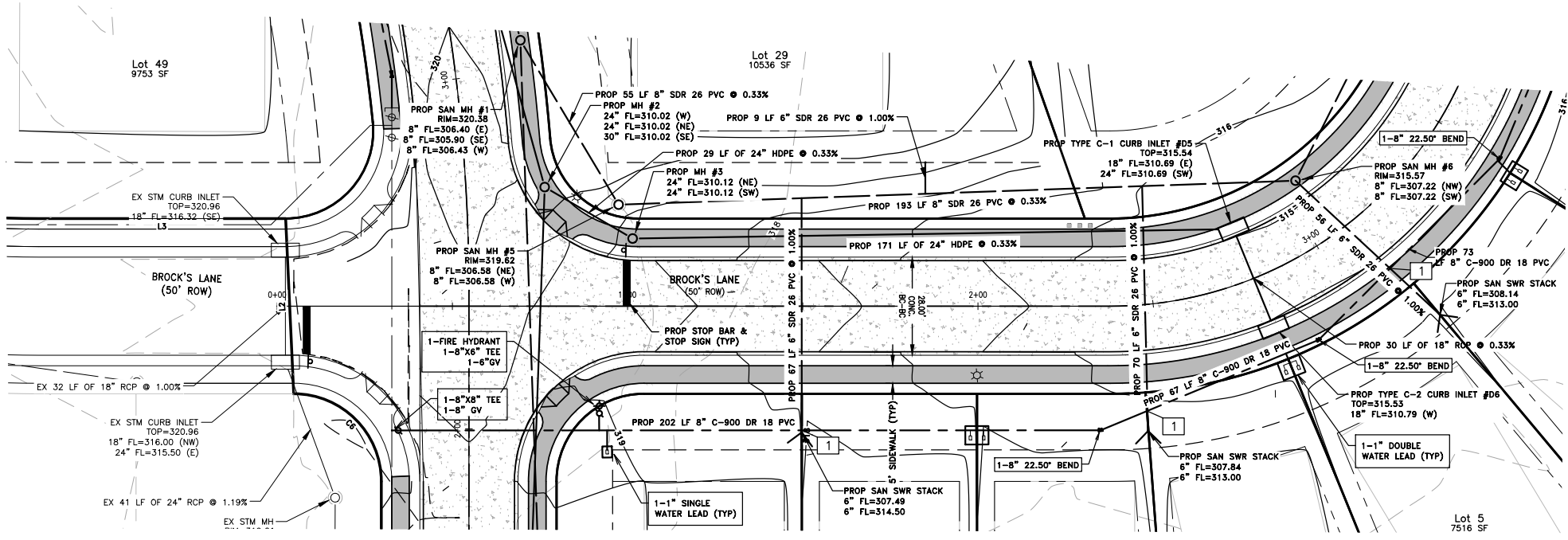
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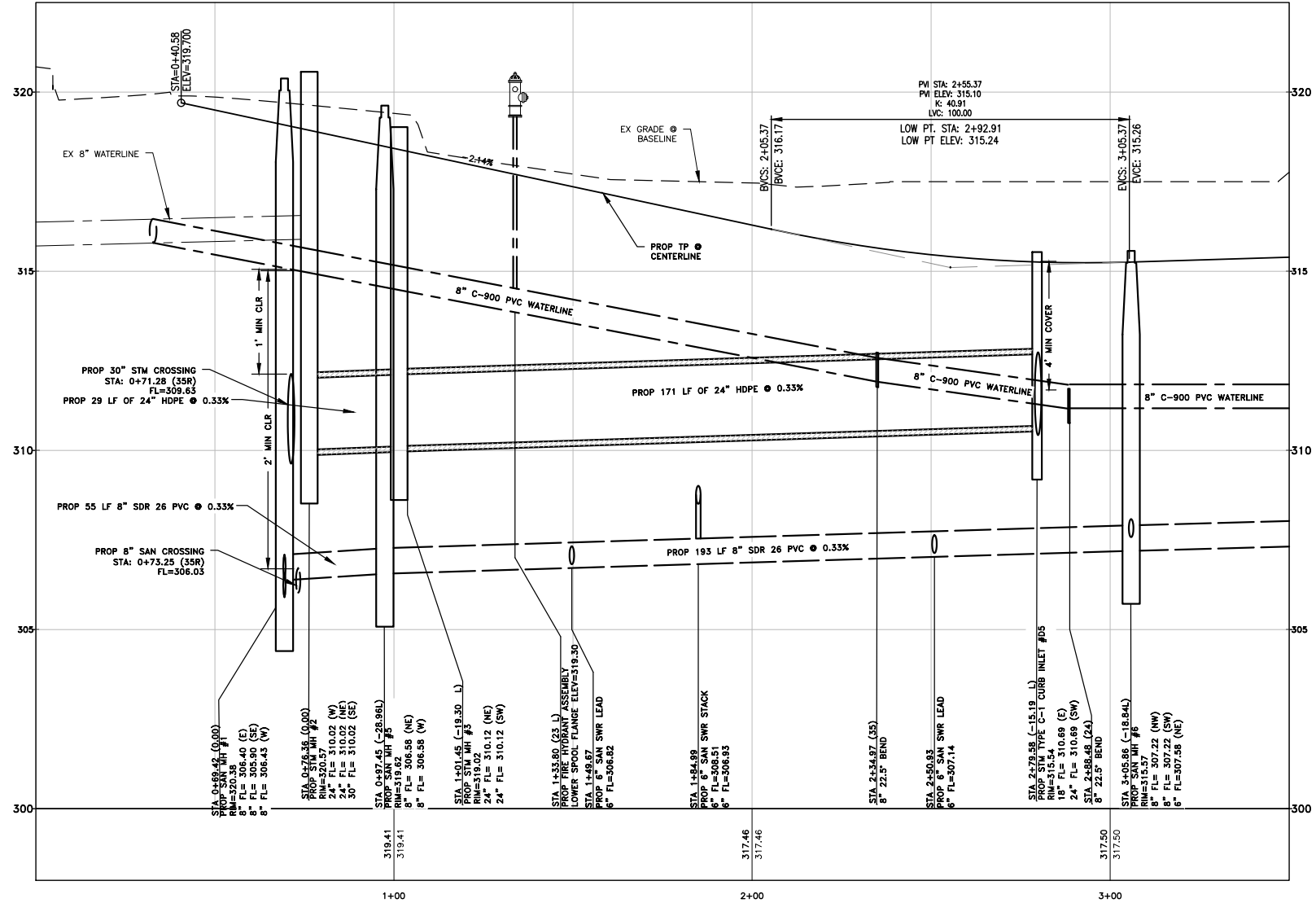
WATERLINE OVER SEWER
1-20' JOINT (SEE NOTE C)
 - 

WATERLINE UNDER SEWER
1-20' JOINT W/ STEEL CASING (SEE NOTE C)

DATE: 10/06/2017
SIGNATURE VALID FOR ONE (1) YEAR



NOTE:
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WATERLINE OVER SEWER
 1-20' JOINT (SEE NOTE C)

SANITARY SEWER
 1-20' JOINT (SEE NOTE B)

WATERLINE UNDER SEWER
 1-20' JOINT W/ STEEL CASING (SEE NOTE C)

SANITARY SEWER
 1-20' JOINT (SEE NOTE B)

LSQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.LSQUAREDENGINEERING.COM
 23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #202
 MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
 OFFICE: 281-445-9200 OFFICE: 281-445-9200

CLIENT INFORMATION
 STYLCRAFT BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH
 COLLEGE STATION, TX 77845

PROJECT ADDRESS
 EMMMA'S WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
BROCK'S LANE PLAN & PROFILE
STA 0+00 - 3+50

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

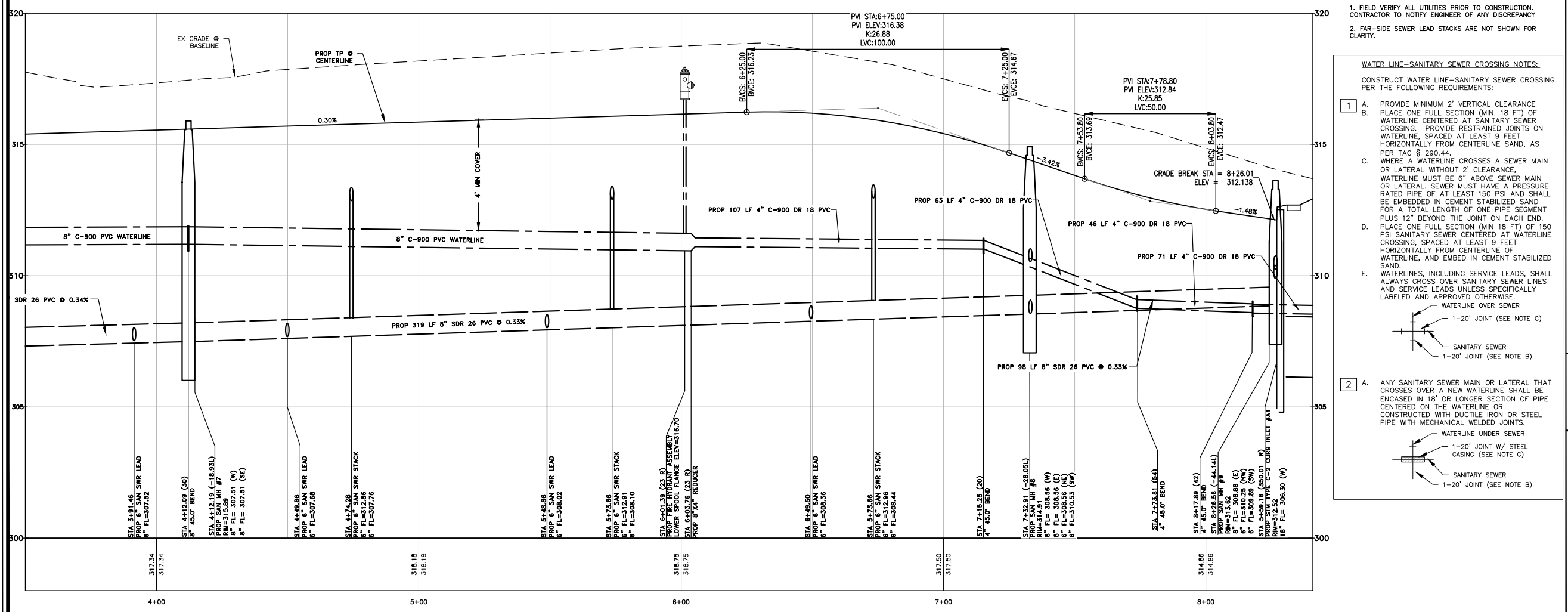
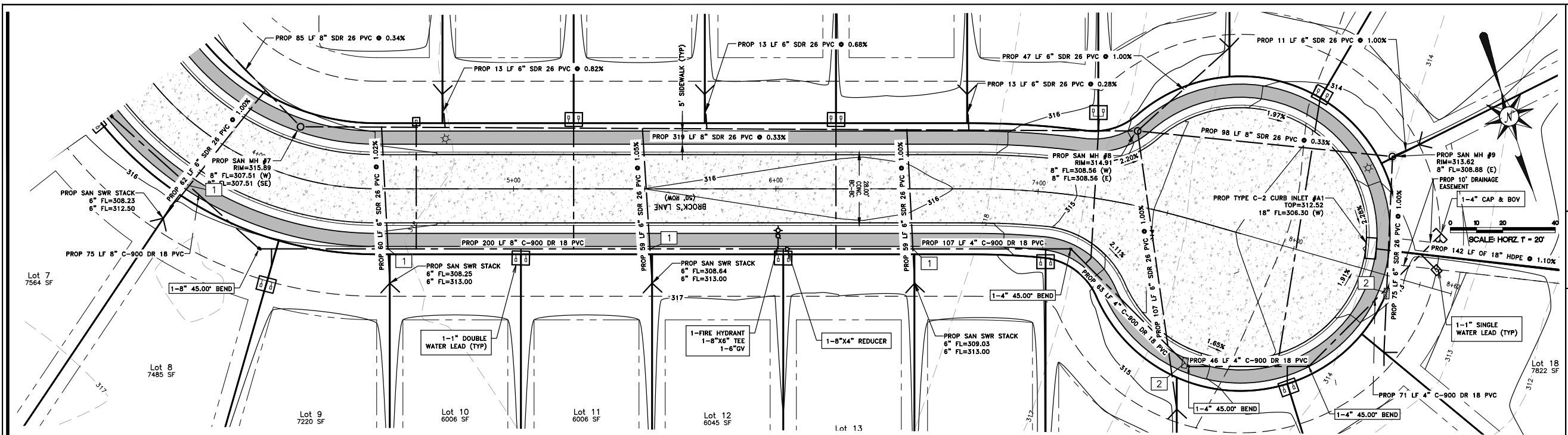
DRAWING INFORMATION			
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
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CITY OF MONTGOMERY, CITY ENGINEER
 SIGNATURE VALID FOR ONE (1) YEAR

DATE _____

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



NOTE:
 1. FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCY.
 2. FAR-SIDE SEWER LEAD STACKS ARE NOT SHOWN FOR CLARITY.

WATER LINE-SANITARY SEWER CROSSING NOTES:
 CONSTRUCT WATER LINE-SANITARY SEWER CROSSING PER THE FOLLOWING REQUIREMENTS:

- PROVIDE MINIMUM 2' VERTICAL CLEARANCE.
 - PLACE ONE FULL SECTION (MIN. 18 FT) OF WATERLINE CENTERED AT SANITARY SEWER CROSSING. PROVIDE RESTRAINED JOINTS ON WATERLINE, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE SAND, AS PER TAC § 290.44.
 - WHERE A WATERLINE CROSSES A SEWER MAIN OR LATERAL WITHOUT 2' CLEARANCE, WATERLINE MUST BE 6" ABOVE SEWER MAIN OR LATERAL. SEWER MUST HAVE A PRESSURE RATED PIPE OF AT LEAST 150 PSI AND SHALL BE EMBEDDED IN CEMENT STABILIZED SAND FOR A TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12" BEYOND THE JOINT ON EACH END.
 - PLACE ONE FULL SECTION (MIN 18 FT) OF 150 PSI SANITARY SEWER CENTERED AT WATERLINE CROSSING, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE OF WATERLINE, AND EMBED IN CEMENT STABILIZED SAND.
 - WATERLINES, INCLUDING SERVICE LEADS, SHALL ALWAYS CROSS OVER SANITARY SEWER LINES AND SERVICE LEADS UNLESS SPECIFICALLY LABELED AND APPROVED OTHERWISE.
- ANY SANITARY SEWER MAIN OR LATERAL THAT CROSSES OVER A NEW WATERLINE SHALL BE ENCASED IN 18" OR LONGER SECTION OF PIPE CENTERED ON THE WATERLINE OR CONSTRUCTED WITH DUCTILE IRON OR STEEL PIPE WITH MECHANICAL WELDED JOINTS.



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 8505 TECHNOLOGY FOREST PL #502 THE WOODLANDS, TEXAS 77381

CLIENT INFORMATION
 STYLECRAFT BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH
 COLLEGE STATION, TX 77845

PROJECT ADDRESS
 EMMA'S WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
BROCKS LANE PLAN & PROFILE
STA 3+50 - END

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

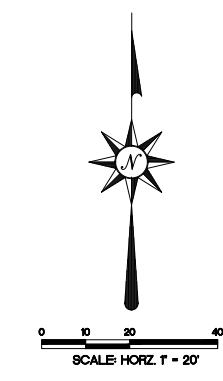
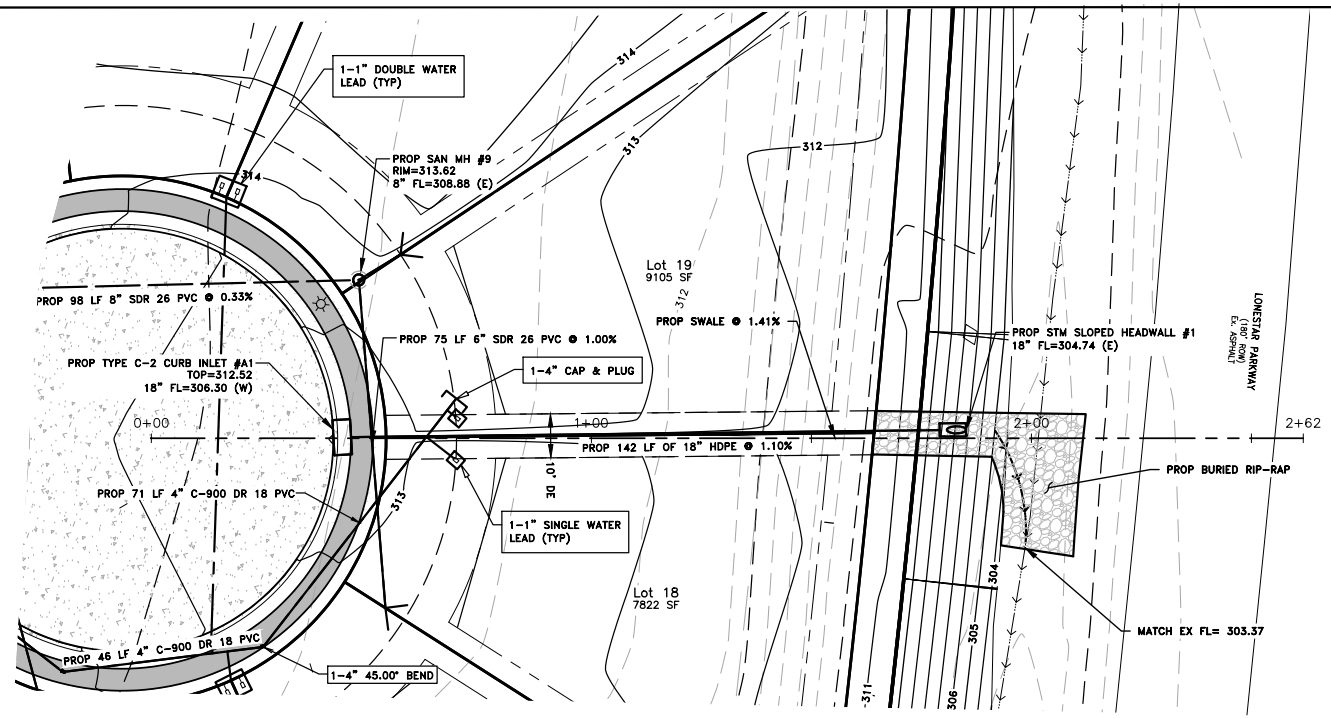
DRAWING INFORMATION			
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE (24"x36")	SHEET		11
1" = 20' (HORZ)			
1" = 2' (VERT)			



CITY OF MONTGOMERY, CITY ENGINEER
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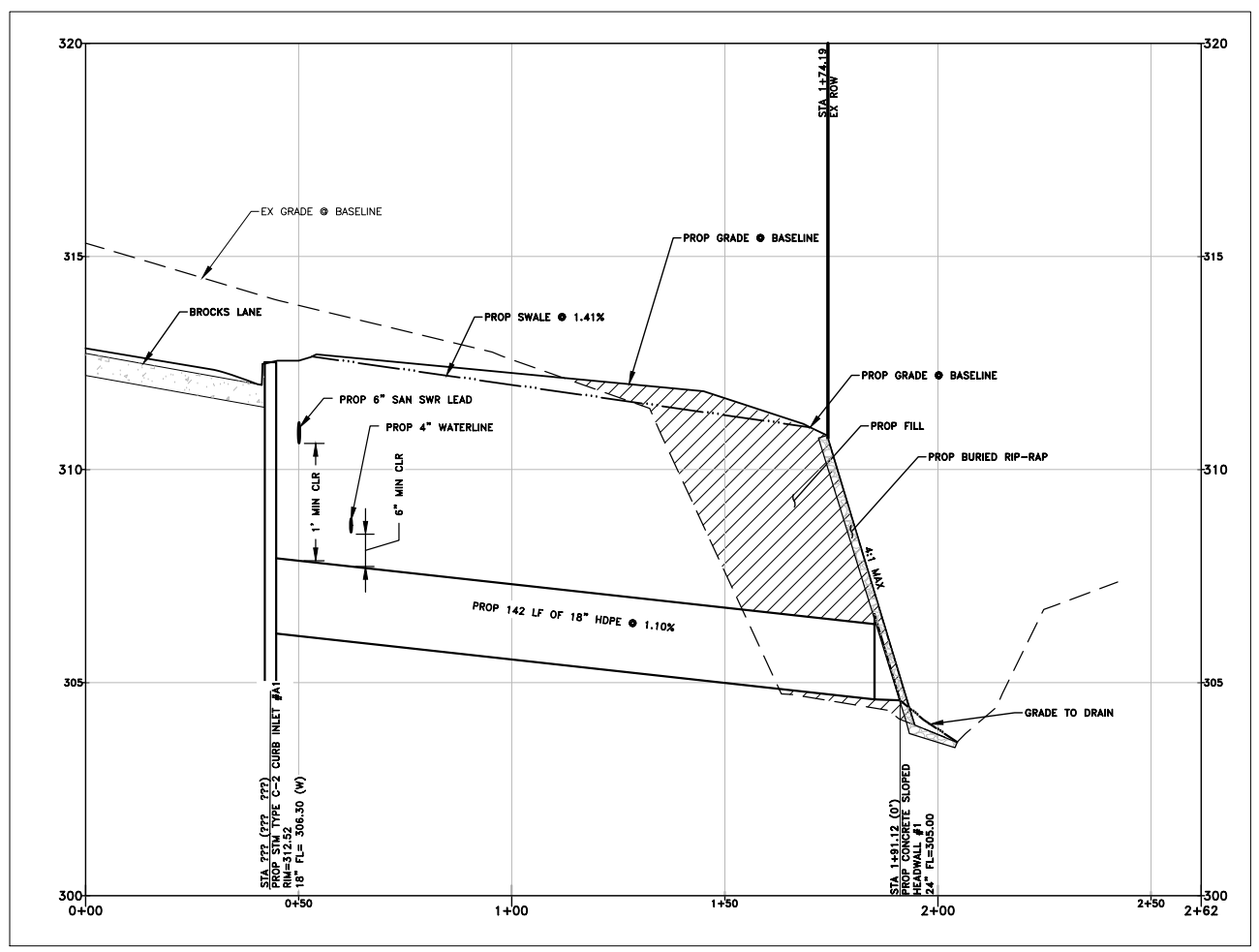
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PROJ REGISTRATION NUMBER: 111335

23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #202
MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 281-445-0420 OFFICE: 281-447-0820

CLIENT INFORMATION
STYLCRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3 STORM SEWER OUTFALL PLAN & PROFILE



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DRAWING INFORMATION			
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	SHEET		12
1" = 20' (24x36)	1" = 40' (11x17)		

DATE 10/06/2017

CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR

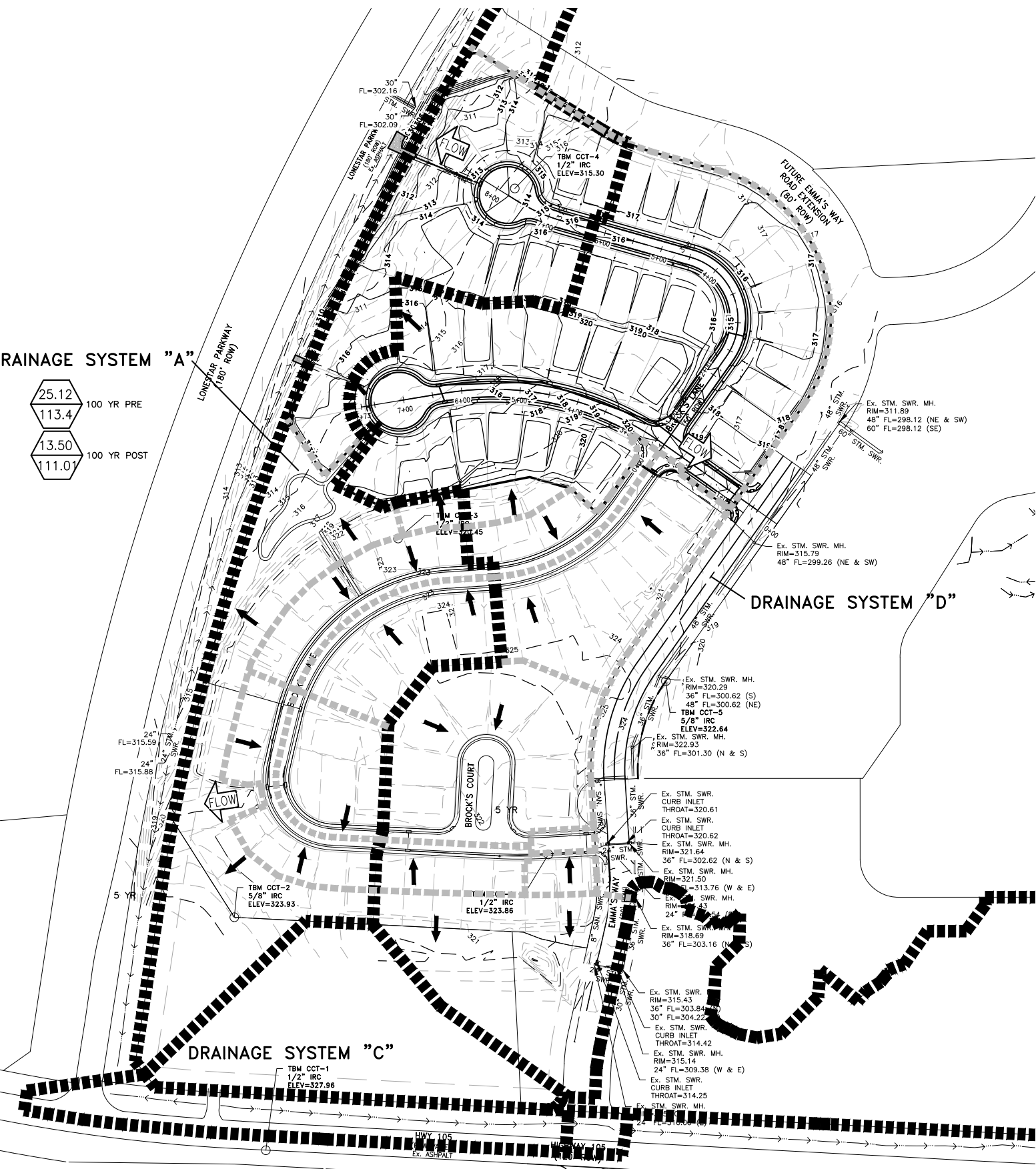
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



0 50 100 200
SCALE: HORIZ. T = 100'

DRAINAGE SYSTEM "A"

25.12	100 YR PRE
113.4	
13.50	100 YR POST
111.0	



LEGAL DESCRIPTION
12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-069611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Callie Louise Cleveland and Monty Gene Sallick to Christian C. Chestnut, et al by a deed dated November 28, 1994 and recorded under Clerk's File No. 9466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Chestnut, et al by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGAL DESCRIPTION
THE ELEVATIONS SHOWN HEREON ARE BASED ON F.E.M.A. BENCHMARK, RM 136, ELEV=308.88, 1973 ADJUSTMENT OF 1929 N.G.V.D.

FLOODPLAIN NOTE:
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 4835R0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN

- LEGEND**
- 100— EXISTING MAJOR CONTOUR LINE
 - - -100- - - EXISTING MINOR CONTOUR LINE
 - 100— PROPOSED MAJOR CONTOUR LINE
 - - -100- - - PROPOSED MINOR CONTOUR LINE
 - — — — — PROPERTY LINE
 - — — — — EXISTING SANITARY SEWER
 - — — — — EXISTING WATERLINE
 - — — — — EXISTING STORM SEWER
 - — — — — EXISTING EASEMENT
 - — — — — EXISTING BUILDING LINE
 - — — — — EXISTING POWERLINE
 - — — — — EXISTING DITCH
 - — — — — EXISTING HIGH BANK
 - — — — — EXISTING TOE OF BANK
 - — — — — EXISTING FENCE
 - — — — — PROPOSED STORM SEWER
 - — — — — PROPOSED STORM SWALE
 - — — — — PROPOSED SANITARY SEWER
 - — — — — PROPOSED WATERLINE
 - — — — — PROPOSED PAVEMENT
 - — — — — PROPOSED HIGH BANK
 - — — — — PROPOSED EASEMENT
 - — — — — PROPOSED STREET LIGHTS
 - — — — — PROPOSED MAILBOX CLUSTER
 - — — — — PROPOSED 51,568 SF 6" CONC PAVEMENT
 - — — — — PROPOSED 14,935 SF 4" CONC SIDEWALK
- DIRECTIONAL FLOW
- PROPOSED DRAINAGE AREAS
- DA-1 DRAINAGE AREA NUMBER
- AREA FLOW STORM EVENT
- CUMULATIVE AREA STORM EVENT
- EXTREME EVENT FLOW PATH

NOTE:
DRAINAGE SYSTEM REFERENCE TO THE ORIGINAL APPROVED DRAINAGE MASTER PLAN IN THE PLANS FOR "THE HILLS OF TOWN CREEK SECTION 1 SUBDIVISION"

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CLIENT INFORMATION
STYLICKRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
OVERALL DRAINAGE PLAN

DRAWING ISSUE

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DRAWING INFORMATION

PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	SHEET		13
1" = 100' (24x36)			
1" = 200' (11x17)			



CITY OF MONTGOMERY, CITY ENGINEER
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Drainage Sub-Capacity	Contributing	Depth	Right Slopes	Left Slopes	Bottom	Top Width	Area (A)	Wetted Perimeter (P)	R=(A/P)	Slope (S)	Roughness (n)	Q _{capacity} (CFS)	V _{fullflow} (FPS)	100-Yr Flow Capacity?
1-1-A1, D3-D6	1.6	3	3	0	2.60	7.68	10.12	0.729468	0.011	0.027	36.89	4.80	36.86	yes
1-1-D1-D2	1.5	3	3	0	3.00	6.75	9.49	0.7133225	0.008	0.027	25.48	3.97	25.51	yes

Inlet No.	Contributing DA	Number of Barrels	Dia	Material	Area (A)	Perimeter (P)	R=(A/P)	Slope (S) (ft/ft)	Roughness (n)	Q _{capacity} (CFS)	V _{fullflow} (FPS)	Q _{developed} (100-Yr)	Capacity?
A1	DA-A1	1	1.5	RCP	1.77	4.71	0.375	0.011	0.011	13.02	7.37	12.64	yes

Drainage Calculations (5-Yr)

Drainage Area	Area	Tc	C	I	C _i	Q
DA-A1	1.82	5	0.55	6.5	1	6.51
DA-A2	1.87	5	0.55	6.5	1	6.69
DA-D1	1.8	5	0.55	6.5	1	6.44
DA-D2	1.73	5	0.55	6.5	1	6.18
DA-D3	0.15	5	0.55	6.5	1	0.54
DA-D4	0.15	5	0.55	6.5	1	0.54
DA-D5	1.05	5	0.55	6.5	1	3.75
DA-D6	2.41	5	0.55	6.5	1	8.62

Drainage Calculations (100-Yr)

Drainage Area	Area	Tc	C	I	C _i	Q
DA-A1	1.82	5	0.55	10.1	1.25	12.64
DA-A2	1.87	5	0.55	10.1	1.25	12.98
DA-D1	1.8	5	0.55	10.1	1.25	12.50
DA-D2	1.73	5	0.55	10.1	1.25	12.01
DA-D3	0.15	5	0.55	10.1	1.25	1.04
DA-D4	0.15	5	0.55	10.1	1.25	1.04
DA-D5	1.05	5	0.55	10.1	1.25	7.29
DA-D6	2.41	5	0.55	10.1	1.25	16.73

RUNOFF COMPUTATION FOR DESIGN FREQUENCY.

ID (acre)	C VALUE	AREA (MIN)	TC (N/HR)	TC USED	INTENSITY (CFS)	SUPPLY Q	TOTAL Q
DA-D1	0.55	1.80	10.00	10.00	0.00	6.440	6.440
DA-D2	0.55	1.73	10.00	10.00	0.00	6.180	6.180
DA-D3	0.55	0.15	10.00	10.00	0.00	0.540	0.540
DA-D4	0.55	0.15	10.00	10.00	0.00	0.540	0.540
DA-D5	0.55	1.05	10.00	10.00	0.00	3.750	3.750
DA-D6	0.55	2.41	10.00	10.00	0.00	8.620	8.620

ON GRADE INLET CONFIGURATION DATA

INLET ID	INLET TYPE	INLET LENGTH (FT)	SLOPE LONG TRANS (%)	SLOPE TRANS (%)	GUTTER DEPR. (FT)	GRATE WIDTH (FT)	POND WIDTH ALLOWED (FT)	CRITIC ELEV.
DA-D3	CURB	7.50	0.50	2.00	0.014	0.33	N/A	12.00
DA-D4	CURB	7.50	0.50	2.00	0.014	0.33	N/A	12.00
DA-D5	CURB	7.50	0.50	2.00	0.014	0.33	N/A	12.00
DA-D6	CURB	7.50	0.50	2.00	0.014	0.33	N/A	12.00

ON GRADE INLETS COMPUTATION DATA

INLET ID	INLET TYPE	TOTAL Q (CFS)	INTERCEPT CAPACITY (CFS)	Q BYPASS ALLOW (CFS)	TO INLET REQUIRED LENGTH (FT)	ACTUAL LENGTH (FT)	PONDED WIDTH
DA-D3	CURB	0.540	0.540	0.000	0.000	3.16	7.50
DA-D4	CURB	0.540	0.540	0.000	0.000	3.16	7.50
DA-D5	CURB	3.750	3.554	0.000	0.196	9.31	7.50
DA-D6	CURB	8.620	6.010	0.000	2.610	15.46	7.50

SAG INLETS CONFIGURATION DATA

INLET ID	INLET TYPE	PERIM. (SF)	AREA (%)	LONG TRANS (%)	LONG TRANS (FT)	N DEPRW (FT)	DEPTH ALLOWED (FT)	CRITIC ELEV.
DA-D1	CURB	7.50	N/A	0.50	2.00	0.50	2.00	0.014
DA-D2	CURB	7.50	N/A	0.50	2.00	0.50	2.00	0.014

SAG INLETS COMPUTATION DATA

INLET ID	INLET TYPE	LENGTH (SF)	GRATE PERIM. (CFS)	TOTAL Q (CFS)	INLET CAPACITY (CFS)	TOTAL HEAD (FT)	PONDED LEFT	PONDED RIGHT
DA-D1	CURB	7.50	N/A	6.440	8.294	0.422	12.10	12.10
DA-D2	CURB	7.50	N/A	6.180	8.294	0.411	11.90	11.90

CUMULATIVE JUNCTION DISCHARGE COMPUTATIONS


NODE I.D.	NODE TYPE	WEIGHTED C-VALUE (MIN)	CUMULAT. DR.AREA (N/HR)	CUMULAT. TC (CFS)	INTENS. (CFS)	USER SUPPLY Q (CFS)	ADDITIONAL Q IN NODE	TOTAL DISCH.
DA-D1	CURB	0.000	0.00	10.00	6.50	12.620	0.00	12.620
DA-D2	CURB	0.000	0.00	0.00	0.00	6.180	0.00	6.180
DA-D3	CURB	0.000	0.00	10.00	6.50	25.330	0.00	25.330
DA-D4	CURB	0.000	0.00	10.00	6.50	26.070	0.00	26.070
DA-D5	CURB	0.000	0.00	10.00	6.50	12.370	0.00	12.370
DA-D6	CURB	0.000	0.00	0.00	0.00	8.620	0.00	8.620
MH1	CIRCMH	0.000	0.00	10.00	6.50	12.620	0.00	12.620
MH2	CIRCMH	0.000	0.00	10.00	6.50	24.990	0.00	24.990
MH3	CIRCMH	0.000	0.00	10.00	6.50	12.370	0.00	12.370
MH4	CIRCMH	0.000	0.00	0.00	0.00	0.000	0.00	0.000
OUT	OUTLT	0.000	0.00	10.00	6.50	26.070	0.00	26.070

CONVEYANCE CONFIGURATION DATA

RUN#	NODE I.D.	FLOWLINE ELEV. US DS	FLOWLINE ELEV. US DS	SHAPE #	SPAN	RISE	LENGTH	SLOPE	N_VALUE
1	DA-D2	311.38	311.28	CIRC 1	0.00	2.00	31.00	0.32	0.013
2	DA-D1	311.28	310.70	CIRC 1	0.00	2.00	175.00	0.33	0.011
3	DA-D6	310.79	310.69	CIRC 1	0.00	1.50	30.00	0.33	0.013
4	DA-D5	310.69	310.12	CIRC 1	0.00	2.00	171.00	0.33	0.011
5	MH3	310.12	310.02	CIRC 1	0.00	2.00	29.00	0.34	0.013
6	MH1	310.70	310.02	CIRC 1	0.00	2.00	206.00	0.33	0.013
7	MH2	310.02	309.42	CIRC 1	0.00	2.50	181.00	0.33	0.013
8	DA-D3	309.42	309.32	CIRC 1	0.00	2.50	30.00	0.33	0.013
9	DA-D4	309.32	309.24	CIRC 1	0.00	3.00	23.00	0.35	0.013

CONVEYANCE HYDRAULIC COMPUTATIONS. TAILWATER = 0.000 (FT)

RUN#	US ELEV (FT)	DS ELEV (FT)	FR.SLOPE (%)	UNIF. ACTUAL (FT)	DEPTH (FT)	VELOCITY (F/S)	ACTUAL Q (CFS)	CAP Q (CFS)	JUNC LOSS
1	313.39	313.37	0.075	0.98	2.00	4.01	1.97	6.18	12.85
2	313.37	312.98	0.223	1.38	2.00	5.48	4.02	12.62	15.39
3	312.99	312.79	0.673	1.50	1.50	4.88	4.88	8.62	6.07
4	312.79	312.42	0.214	1.34	2.00	5.51	3.94	12.37	15.44
5	312.42	312.34	0.299	1.53	2.00	4.79	3.94	12.37	13.29
6	312.98	312.34	0.311	1.59	2.00	4.70	4.02	12.62	13.00
7	312.34	311.76	0.371	2.19	2.34	5.49	5.23	24.99	23.62
8	311.76	311.10	0.387	2.34	2.34	5.34	5.34	25.53	23.68
9	311.10	311.02	0.153	1.78	1.78	5.96	5.96	26.07	39.34



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21123 EVA STREET #200 MONTGOMERY, TEXAS 77356 OFFICE: 936-451-0820
8505 TECHNOLOGY FOREST PL #202 THE WOODLANDS, TEXAS 77381 OFFICE: 936-451-0820

CLIENT INFORMATION
STILECRAFT BUILDINGS, INC
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PROJECT ADDRESS
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MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3 DRAINAGE CALCULATIONS

DRAWING ISSUE			
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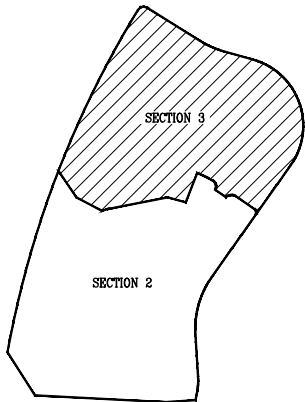
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PROJECT	10631	TDLR	**
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KEYMAP
N.T.S.

12.384 Acres
MONTGOMERY ENERGY
RESOURCES, INC., et al to
William T. Barnier
M.C.C.F. No.
2009-026051, M.C.D.R.
03/31/09

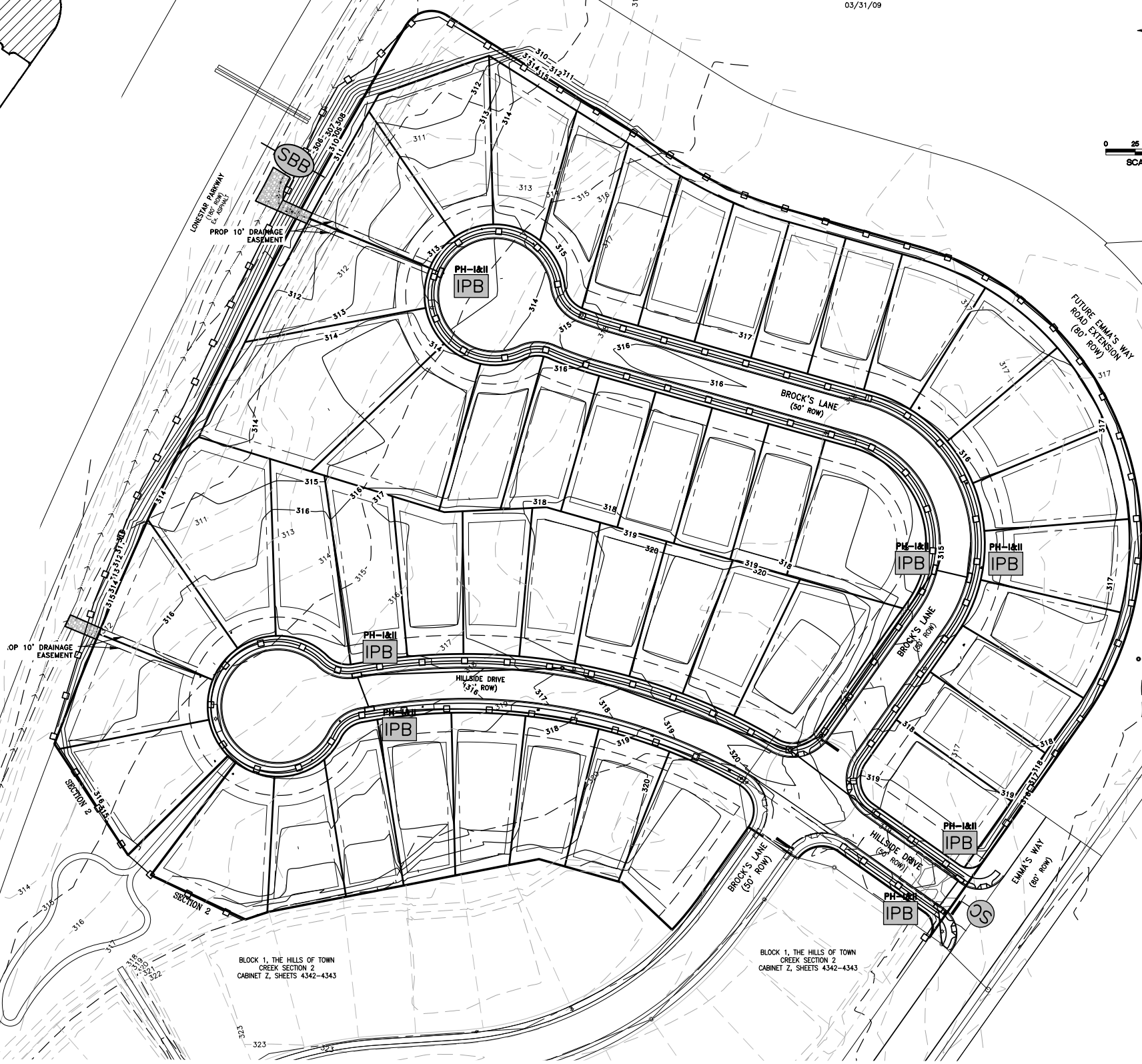
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0 25 50 100
SCALE: HORIZ 1" = 50'



- LEGEND**
- 100— EXISTING MAJOR CONTOUR LINE
 - - -100- EXISTING MINOR CONTOUR LINE
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 - — — — — PROPOSED 51,568 SF 6" CONC PAVEMENT
 - — — — — PROPOSED 14,935 SF 4" CONC SIDEWALK

SWPP PLAN

- SWPP LEGEND:**
- — — — — CONTINUOUS FILTER FABRIC FENCE
 - SC — — — — — STABILIZED CONSTRUCTION ENTRANCE
 - PH-I&II IPB — — — — — INLET PROTECTION BARRIER (PHASE I)
 - PH-II IPB — — — — — INLET PROTECTION BARRIER (PHASE II)
 - SBB — — — — — STRAW BALE BARRIER
 - CTW — — — — — CONCRETE TRUCK WASHOUT

SWPPP NOTES:
1. ADDITIONAL EROSION PROTECTION MEASURES MAY BE NECESSARY DURING CONSTRUCTION.

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PRO REGISTRATION NUMBER 11335
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MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 281-443-0400 OFFICE: 281-443-0400

CLIENT INFORMATION
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COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
TEMPORARY SWPPP

DRAWING ISSUE

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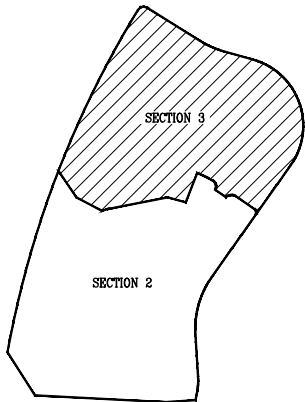
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	SHEET		16
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SIGNATURE VALID FOR ONE (1) YEAR

DATE 10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



12.384 Acres
 MONTGOMERY ENERGY
 RESOURCES, INC., et al to
 William T. Barnier
 M.C.C.F. No.
 2009-026051, M.C.D.R.
 03/31/09



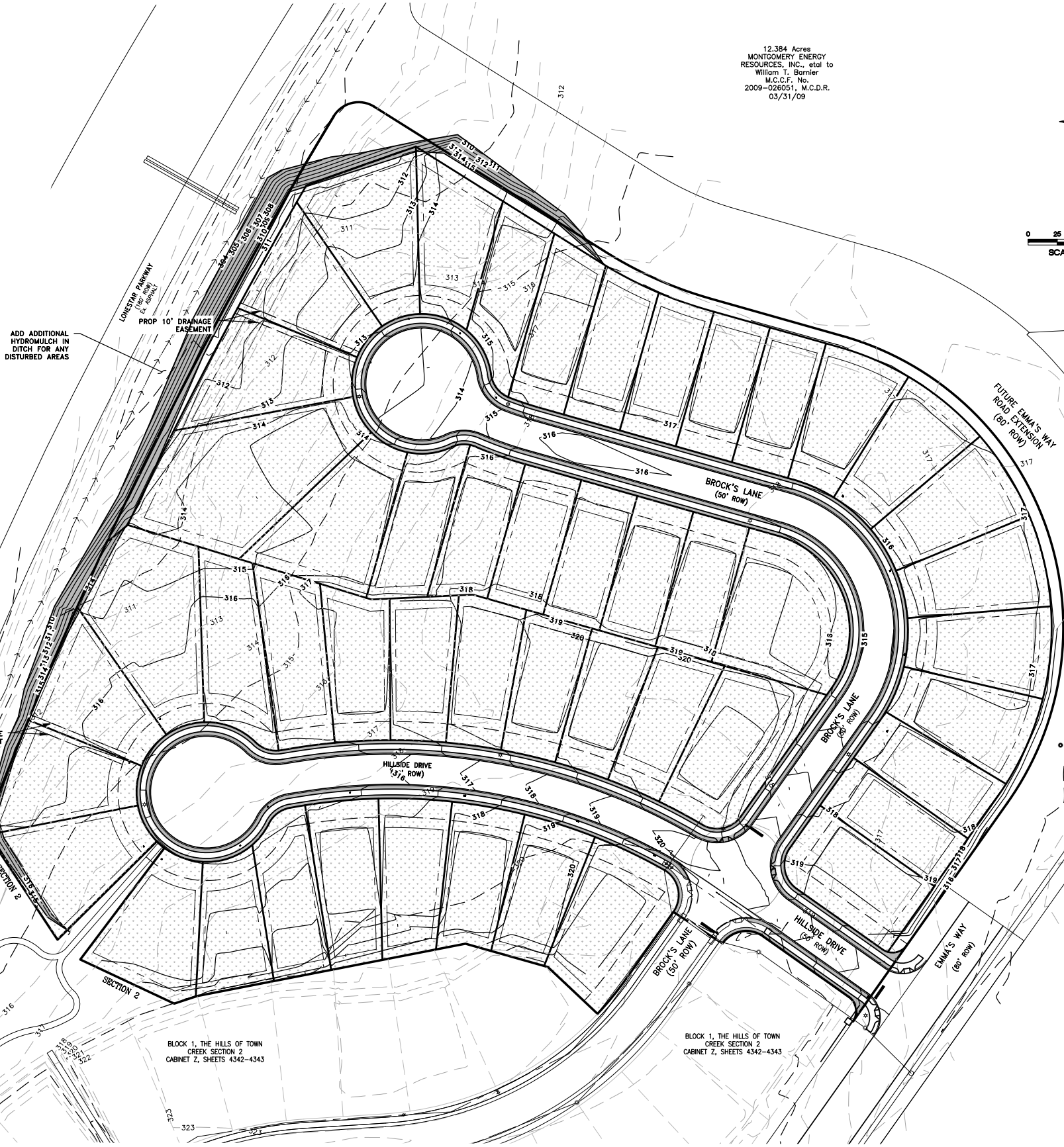
0 25 50 100
 SCALE: HORIZ 1" = 50'

LEGAL DESCRIPTION
 12.38 Acres of land being part of the remainder of that certain 79.9035 Acre tract of land conveyed from MONTGOMERY INDEPENDENT SCHOOL DISTRICT to MONTGOMERY ENERGY RESOURCES, INC., et al by a deed dated July 18, 2001 and recorded under Clerk's File No. 2001-069611, of the Deed Records of Montgomery County, Texas (M.C.D.R.), same being the 0.954 Acre part of that certain 15.088 Acre tract of land conveyed from Colie Louise Cleveland and Montye Gene Sallick to Christian C. Chestnut, et al by a deed dated November 28, 1994 and recorded under Clerk's File No. 9466409, M.C.D.R., and being the 2.755 Acre part of that certain 15.088 Acre tract of land conveyed from Duane T. Corley, Trustee to Christian C. Chestnut, et al by a deed dated August 19, 1994 and recorded under Clerk's File No. 9447289, M.C.D.R., lying in the BENJAMIN RIGBY LEAGUE, Abstract 31, near Montgomery, Montgomery County, Texas.

LEGAL DESCRIPTION
 THE ELEVATIONS SHOWN HEREON ARE BASED ON F.E.M.A. BENCHMARK, RM 136, ELEV=308.88, 1973 ADJUSTMENT OF 1929 N.G.V.D.

FLOODPLAIN NOTE:
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 48338C0200G EFFECTIVE DATE OF AUGUST 18, 2014, AND THE MAP INDICATES THIS TRACT TO BE IN UNSHADED ZONE "X", DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN

- LEGEND**
- 100— EXISTING MAJOR CONTOUR LINE
 - - -100- - - EXISTING MINOR CONTOUR LINE
 - 100— PROPOSED MAJOR CONTOUR LINE
 - - -100- - - PROPOSED MINOR CONTOUR LINE
 - — — — — PROPERTY LINE
 - — — — — EXISTING SANITARY SEWER
 - — — — — EXISTING WATERLINE
 - — — — — EXISTING STORM SEWER
 - — — — — EXISTING EASEMENT
 - — — — — EXISTING BUILDING LINE
 - — — — — EXISTING POWERLINE
 - — — — — EXISTING DITCH
 - — — — — EXISTING HIGH BANK
 - — — — — EXISTING TOE OF BANK
 - — — — — EXISTING FENCE
 - — — — — PROPOSED STORM SEWER
 - — — — — PROPOSED STORM SWALE
 - — — — — PROPOSED SANITARY SEWER
 - — — — — PROPOSED WATERLINE
 - — — — — PROPOSED PAVEMENT
 - — — — — PROPOSED HIGH BANK
 - — — — — PROPOSED EASEMENT
 - — — — — PROPOSED STREET LIGHTS
 - — — — — PROPOSED MAILBOX CLUSTER
 - — — — — PROPOSED 51,568 SF 6" CONC PAVEMENT
 - — — — — PROPOSED 14,935 SF 4" CONC SIDEWALK
 - HYDRO SEED (8.59 ACRES)
 - DRILL SEED (0.76 ACRES)



ADD ADDITIONAL HYDROMULCH IN DITCH FOR ANY DISTURBED AREAS

PROP 10' DRAINAGE EASEMENT

BLOCK 1, THE HILLS OF TOWN CREEK SECTION 2 CABINET 2, SHEETS 4342-4343

BLOCK 1, THE HILLS OF TOWN CREEK SECTION 2 CABINET 2, SHEETS 4342-4343

LS SQUARED ENGINEERING
 MUNICIPAL COMMERCIAL RESIDENTIAL
 WWW.LSQUAREDENGINEERING.COM
 23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #202
 MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
 OFFICE: 281-445-0400 OFFICE: 281-445-0400

CLIENT INFORMATION
 STYLECRAFT BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH
 COLLEGE STATION, TX 77845

PROJECT ADDRESS
 EMMA'S WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK
 SECTION 3
 PERMANENT SWPPP

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	SHEET		17
1" = 50' (24x36)			
1" = 100' (11x17)			



CITY OF MONTGOMERY, CITY ENGINEER
 SIGNATURE VALID FOR ONE (1) YEAR

DATE 10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

REFERENCE SPECIFICATIONS:

APPLICABLE ENTITY DETAILS & SPECIFICATIONS SHALL APPLY. WHEN NO SUCH INFORMATION EXISTS, CONTRACTOR SHALL THEN REFERENCE CITY OF MONTGOMERY DETAILS AND SPECIFICATIONS.

CITY OF MONTGOMERY

GENERAL CONSTRUCTION NOTES:

- 1. CONTRACTOR SHALL CONTACT CITY OF MONTGOMERY CITY ENGINEERS ED SHACKELFORD OR CHRIS ROZNOVSKY AT (281) 363-4039 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT CITY OF MONTGOMERY PUBLIC WORKS FOREMAN MIKE MUCKLEROVY AT (936) 557-6434 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO SET UP AN INSPECTOR TO VERIFY CITY'S FACILITIES.
3. CONTRACTOR SHALL CONTACT CITY OF MONTGOMERY UTILITY OPERATOR, MICHAEL WILLIAMS OF GULF UTILITY SERVICE AT (346) 300-5282 A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO SET UP AN INSPECTOR TO VERIFY CITY'S FACILITIES.
4. THE CITY'S UTILITY OPERATOR AND PUBLIC WORKS FOREMAN SHALL BE NOTIFIED 24 HOURS IN ADVANCE TO WITNESS AND INSPECT ANY SANITARY SEWER LINE CONNECTION. NO SANITARY SEWER LINES SHALL BE BACKFILLED BEFORE THE CITY'S UTILITY OPERATOR OR PUBLIC WORKS FOREMAN HAS INSPECTED THE CONNECTION.
5. CONTRACTOR SHALL CONTACT THE CITY'S UTILITY OPERATOR OR PUBLIC WORKS FOREMAN TO OPERATE ALL VALVES. AT NO TIME IS THE CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE TO OPERATE ANY PART OF THE CITY OF MONTGOMERY WATER SYSTEM.
6. THE OWNER OR CONTRACTOR SHALL INSTALL AND TEST APPROPRIATE BACKFLOW PREVENTION, PER CITY OF MONTGOMERY RULES & REGULATIONS.

SANITARY SEWER CONSTRUCTION NOTES:

- 1. SANITARY SEWERS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST CITY SPECIFICATIONS FOR SEWER CONSTRUCTION, AND TESTED AS SPECIFIED IN THE CITY TEST PROCEDURE FOR EITHER LIQUID OR AIR, INCLUDING ALL AMENDMENTS AND REVISIONS THERETO. BACKFILL AND BEDDING FOR SANITARY SEWERS MUST MEET ALL MINIMUM ASPECTS OF ASTM D-2321 AND MUST BE PLACED IN ACCORDANCE WITH THE APPLICABLE ENTITY'S SPECIFICATIONS.
2. ALL SANITARY SEWER MANHOLES SHALL BE STANDARD THE APPLICABLE ENTITY PRE-CAST USING RAM-NECK OR CAST IN PLACE CONCRETE IN ACCORDANCE WITH ASTM C-478. NO BRICK MANHOLES ALLOWED. FOR PVC PIPE, USE MANHOLE WATER STOP URGENT AND CLAMP ASSEMBLY AT MANHOLE CONNECTIONS. SANITARY SEWER MANHOLE RIMS SHALL BE 3 INCHES ABOVE NATURAL GROUND. BACKFILL SHALL BE ADDED AND SLOPED AWAY FROM THE MANHOLE RIM FOR DRAINAGE PURPOSES.
3. MANHOLE CONCRETE BOTTOM FOUNDATION SHALL BE 12" REINFORCED WITH #5 BARS AT 12" ON CENTERS, EACH WAY, WITH A MINIMUM OF 6" EXTRA SLAB LENGTH AROUND THE MANHOLE. IF POURED IN PLACE, APPROVED CHEMICALS SHALL BE USED FOR PATCHING AROUND MANHOLE JOINTS. MORTAR CEMENT WILL NOT BE ACCEPTED.
4. SANITARY SEWER PIPE SHALL BE PVC SDR 26 OR PVC SDR 35 (WITH APPROVAL), IN ACCORDANCE WITH ASTM SPECIFICATIONS D-3034, FOR 4" THROUGH 15" AND ASTM F-875 FOR 18" THROUGH 27". MINIMUM SIZE SANITARY SEWER MAIN IS 6". SDR 35 MAY BE USED WHEN DEPTH IS MORE THAN 3 FEET AND LESS THAN 8 FEET.
5. SEWER LINES SHALL BE LOCATED ON THE OPPOSITE SIDE OF THE STREET FROM WHERE WATER IS LOCATED. SEWER LINE AND WATER LINE SEPARATION SHALL BE IN ACCORDANCE WITH TEXAS NATURAL RESOURCE CONSERVATION COMMISSION RULES, CHAPTER 317.13 APPENDIX E.
6. NO SEWER PIPE SHALL BE LAD ON AN UNSTABLE FOUNDATION. SELECTED MATERIAL SHALL BE USED AND/OR WET SAND CONSTRUCTION DETAILS, HOWEVER THE CITY ENGINEER. NO PIPE SHALL BE COVERED WITHOUT APPROVAL OF THE ENGINEER OR HIS REPRESENTATIVE. SANITARY SEWERS CONSTRUCTED IN WET SAND SHALL HAVE A SPECIAL PROCEDURE AND SHALL BE CONSTRUCTED AS PER THE APPLICABLE ENTITY STANDARDS.
7. WHEN THE NATURAL GROUND LEVEL AROUND MANHOLE LIES BELOW THE 100 YEAR FLOODPLAIN ELEVATION, THE MANHOLE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEALED AND VENTED MANHOLE DETAIL.
8. A DEFLECTION TEST SHALL BE REQUIRED AFTER THE BACKFILL HAS BEEN IN PLACE A MINIMUM OF 30 DAYS. THIS TEST SHALL BE DONE BY PULLING A HAND LINE WITH AN ATTACHED MANHOLE FROM MAN-HOLE TO MANHOLE. THE MANHOLE SHALL HAVE AN OUTSIDE DIAMETER THAT IS AT LEAST 80% OF THE ORIGINAL INSIDE DIAMETER OF THE PIPE. MANHOLES TO BE MANUFACTURED WITH A MINIMUM OF SEVEN (7) RUNNERS, WITH EACH RUNNER BEING A MINIMUM OF 5 INCHES LONG. ANY PIPE NOT MEETING EST REQUIREMENTS TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
9. INFILTRATION/EXFILTRATION NOT TO EXCEED 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE FOR 24 HOURS UNDER A MINIMUM OF 2 FEET OF HEAD, OR AN AIR TEST SHALL BE REQUIRED IN ACCORDANCE WITH ASTM C-828.
10. WHERE A SEWER LINE HAS LESS THAN (2) FEET OF COVER, PROVIDE CEMENT STABILIZED SAND BACKFILL MATERIAL.
11. CONTRACTOR SHALL KEEP RECORD OF LOCATION OF ALL STACKS, STUBS, SEWER LEADS, ETC. THE AS-BUILT MYLAR DRAWINGS MUST SHOW THE EXACT LOCATION.
12. IF SANITARY SERVICE LEADS ARE INSTALLED DURING CONSTRUCTION OF MAIN LINE, ALL LEADS TO HAVE A MINIMUM SLOPE OF 0.70% OR GREATER. ALL PVC LEADS TO BE THE SAME MATERIAL AS MAIN LINE. ALL DOUBLE SERVICE LEADS TO HAVE WYE LOCATED ON THE END OF THE LEAD. ALL SINGLE SERVICE LEADS TO BE 4 INCH, AND ALL DOUBLE SERVICE LEADS TO BE 6 INCH.
13. THE INSTALLATION OF ALL SANITARY SEWER LINES SHALL EXTEND ALONG THE ENTIRE LENGTH OF THE PROPERTY TO BE SERVED. SANITARY SEWER LINES THAT DEAD END SHALL EXTEND TO THE PROJECT LIMITS FOR FUTURE EXTENSIONS, WITH DEPTHS BASED ON ENTIRE SERVICE AREA.

PAVING NOTES:

- 1. IF PROPOSED SEMI-RIGID BASE WITH 2 INCH TYPE "D" HOT MIX ASPHALTIC CONCRETE SURFACING, FOR URBAN ESTATES ONLY, SEMI-RIGID BASE MAY BE 7 INCH CEMENT STABILIZED SHELL, 8 INCH CRUSHED Limestone, OR 6 INCH HOT MIX ASPHALTIC CONCRETE.
2. EXPOSE 15 INCHES OF REINFORCING STEEL AT ALL PROPOSED SAWED JOINTS. IF NO REINFORCING STEEL EXISTS, USE HORIZONTAL DOWELS PER NOTE #4.
3. REQUIRE A ONE (1) INCH REDWOOD EXPANSION BOARD OR PRE-MOLDED NON-EXTRUDING JOINT BETWEEN SIDEWALK AND BACK OF CURB.
4. HORIZONTAL DOWELS SHALL BE NO. 6 BARS, 24 INCHES LONG, DRILLED AND EMBEDDED 8 INCHES INTO THE CENTER OF THE EXISTING SLAB WITH "PO ROC" OR EQUAL. DOWELS SHALL BE 24 INCHES CENTER TO CENTER UNLESS OTHERWISE SPECIFIED.
5. WHEN PROPOSED PAVEMENT ENDS AT A CONSTRUCTION JOINT LEAVE 15 INCHES OF REINFORCING STEEL EXPOSED BEFORE PAVEMENT, COAT WITH ASPHALT, AND WRAP WITH BURFLAP FOR FUTURE PAVEMENT TIE-IN. AT EXPANSION JOINTS, EXTEND DOWELS 5 INCHES; COAT AND WRAP SAME AS CONSTRUCTION JOINTS.
6. WHEREVER A SIDEWALK IS REQUIRED BY CITY ORDINANCE, PROVIDE WHEELCHAIR RAMP AND/OR SIDEWALKS IN ACCORDANCE WITH THE "TEXAS DEPARTMENT OF TRANSPORTATION STANDARD WHEELCHAIR RAMP AND SIDEWALK DETAILS".
7. ADJUST EXISTING MANHOLE FRAMES AND COVERS TO FIT NEW GRADE.
8. ADJUST EXISTING WATER VALVE BOXES TO NEW PAVING GRADE. REPLACE ALL MISSING OR DAMAGED VALVE BOXES AND COVERS.
9. PLACE WHITE OR YELLOW PLASTIC MARKER OR PAINT AS SHOWN BY THE UNIFORM TRAFFIC MANUAL FOR PAVEMENT MARKINGS.
10. PROVIDE A CONCRETE PAVING HEADER AT THE END OF THE PAVEMENT.
11. T. C. INDICATES TOP OF CURB ELEVATION AND T. P. INDICATES TOP OF PAVEMENT ELEVATION.
12. CURB RADI AT STREET INTERSECTIONS TO BE 24.50 FEET TO BACK OF CURB WITH A MINIMUM OF ONE (1) PERCENT GRADE UNLESS OTHERWISE NOTED.
13. GUIDELINES SET FORTH IN THE "TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" WILL BE OBSERVED.
14. TRANSVERSE EXPANSION JOINTS SHALL BE INSTALLED AT ALL RADIUS RETURNS AND AT A MAXIMUM SPACING OF 60 FOOT INTERVALS.
15. CONTRACTOR WILL USE CONTINUOUS LONGITUDINAL REINFORCING BARS IN CURBS AS SHOWN ON CITY OF CONROE PAVING DETAIL DRAWING NUMBER P12 & P13.
16. CYLINDER COMPRESSION TEST OR BEAM FLEXURAL TEST SHALL BE REQUIRED. TWO SAMPLES SHALL BE TAKEN FOR EACH 100 CUBIC YARDS OF CONCRETE POURED. FOR SMALLER QUANTITIES, TWO SAMPLES SHALL BE TAKEN REGARDLESS OF THE AMOUNT OF CONCRETE POURED EACH DAY. CONCRETE SHALL HAVE 5 BAGS CEMENT PER CUBIC YARD AND A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS OR A MINIMUM FLEXURAL STRENGTH OF 600 PSI IN 28 DAYS. NO TRAFFIC SHALL BE ALLOWED ON CONCRETE FOR 28 DAYS. IF EXTRA TESTS ARE MADE 75% OF THE 28 DAY STRENGTH IS ACHIEVED THE CITY ENGINEER MAY ALLOW TRAFFIC ON THE PAVEMENT IF IT DEEMS NECESSARY.
17. PRIOR TO PLAN APPROVAL, A CERTIFIED LAB SHALL DETERMINE THE PERCENTAGE OF CEMENT CONTENT FOR SUBGRADE STABILIZATION IN SANDY SOILS WITH P.I. LESS THAN 10 TO OBTAIN A COMPRESSIVE STRENGTH OF 400 PSI IN 28 DAYS. THE LAB SHALL ALSO DETERMINE THE PERCENTAGE OF LIME CONTENT FOR SUBGRADE STABILIZATION IN CLAY SOILS WITH A P.I. GREATER THAN 10. ALL STREETS SHALL BE TESTED EVERY 200 FEET AND SUBGRADE SHALL BE STABILIZED UNLESS THE LAB CERTIFIES THE P.I. TO BE BETWEEN 10 AND 20 AND THAT STABILIZATION IS NOT NEEDED.
18. A CONCRETE MIX DESIGN BY THE CERTIFIED LAB SHALL BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER BEFORE ANY CONCRETE IS POURED.
19. A MINIMUM OF TWO (2) COMPACTION TESTS SHALL BE PERFORMED A MAXIMUM DISTANCE OF 500 FEET, AND FOR EACH 2"-6" MAXIMUM THICK LAYERS OF FILL. IN AREAS WHERE NO FILL IS REQUIRED, TWO (2) SAMPLES SHALL BE TAKEN AT A MAXIMUM DISTANCE OF 500 FEET. ADDITIONAL TESTING SHALL BE PERFORMED IF SEEN NECESSARY BY THE ENGINEER. NO ADDITIONAL LAYERS OF FILL SHALL BE MADE WITHOUT HAVING THE LAB'S WRITTEN APPROVAL OF COMPLETED LAYERS. PROOF ROLLING SHALL BE REQUIRED BY THE INSPECTOR ON EACH LAYER PLACED AND ANY "POPPING" AREAS SHALL BE REMOVED IMMEDIATELY AND REPLACED OR STABILIZED AND RE-COMPACTED TO A PASSING DENSITY.
20. CONSTRUCTION OF ITEMS THAT ARE NOT SPECIFICALLY ADDRESSED TO BE IN ACCORDANCE WITH THE TEXAS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS (LATEST REVISION).
21. RIGHT-OF-WAY SHALL BE SLOPED FROM THE PROPERTY TO THE TOP OF CURB AND HYDROMALCHED OR SODDED BEFORE FINAL ACCEPTANCE BY THE CITY TO CONTROL EROSION INTO THE STREET AND STORM SEWER.
22. MEMBRANE CURING TYPE 2, WHITE PIGMENTED, SHALL BE USED FOR CURING ALL CONCRETE SURFACES IMMEDIATELY AFTER FINISHING OF SURFACES AND SHALL BE IN ACCORDANCE WITH THE TEXAS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS ITEM #006.
23. ALL FIRST STAGE INLET CONSTRUCTION SHALL BE PROTECTED WITH 3 INCH THICK BOARDS AT ALL TIMES.
24. ALL SUBGRADE AND EMBANKMENT AREAS SHALL BE STRIPPED OF ALL ORGANIC AND UNSUITABLE MATERIAL BEFORE STABILIZATION OR FILLING IS BEGUN. MATERIAL USED FOR FILL SHALL BE CERTIFIED BY A LAB TO HAVE A PLASTICITY INDEX BETWEEN 10 AND 20.
25. FORMS SHALL BE SET TO THE PROPER GRADE AND PROPERLY SUPPORTED SO THAT NO DISPLACEMENT OCCURS WITH THE PAVING ACTIVITIES. ALL CONCRETE SHALL BE VIBRATED BY MECHANICAL MEANS TO INSURE PROPER COMPACTION AND NO HONEY COMBS.
26. CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40° F. AND FALLING, BUT MAY BE PLACED WHEN TEMPERATURE IS ABOVE 35° F. AND RISING. THE TEMPERATURE SHALL BE TAKEN IN THE SHADOW AND AWAY FROM THE SURFACE.
27. THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES TO ADEQUATELY PROTECT THE PAVEMENT. THE CONTRACTOR SHALL HAVE PERSONNEL ON SITE UNTIL THE PAVEMENT HAS REACHED SUFFICIENT STRENGTH AS NOT TO BE DAMAGED BY ANIMALS OR FOOT TRAFFIC.
28. JOINT SEALING MATERIAL SHALL BE A HOT POURED RUBBER TYPE AND SHALL MEET THE REQUIREMENTS IN ACCORDANCE WITH TEST METHOD TEX-523-C, OR AN APPROVED EQUAL. TAR WILL NOT BE ALLOWED.
29. JOINTS SHALL BE CLEANED OF ALL SCALE, DIRT, DUST, CURING COMPOUND, AND CONCRETE TO THE WIDTH AND DEPTH OF THE JOINT AND SHALL BE DRY BEFORE SEALING IS PERFORMED.
30. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM 615 GRADE 60 (GRADE 40 ONLY FOR BARS REQUIRING BENDING). REINFORCING STEEL SHALL BE SUPPORTED ON CHAIRS STRONG ENOUGH TO HOLD IT IN PLACE AND BE TIED.
31. CONCRETE FOR PAVEMENT SHALL MEET TEXAS DEPARTMENT OF HIGHWAY STANDARD SPECIFICATIONS AND SHALL BE A MINIMUM OF 5 SACK, 3,000 PSI UNLESS STATED SPECIFICALLY BY THE PLANS OR THE SPECIFICATIONS.
32. CONCRETE PAVEMENT SHALL BE CURED TO VERIFY THICKNESS OF CONCRETE AT INTERVALS OF 1,000 LINEAR FEET PER TRAFFIC LANE, IF REQUIRED BY THE CITY ENGINEER.

STORM SEWER NOTES:

- 1. STORM SEWER AND LEADS SHALL BE REINFORCED CONCRETE PIPE, ASTM C-76, CLASS III, WITH O-RING RUBBER GASKET JOINTS, AND SHALL BE INSTALLED, BEDDED AND BACKFILLED IN ACCORDANCE WITH THE GOVERNING ENTITY'S STANDARDS AND SPECIFICATIONS
NOTE: HOPE PIPE MAY BE USED PROVIDED THAT IT IS BACKFILLED WITH CEMENT STABILIZED SAND (1/2 SACK CEMENT/TON), OR OTHER BACKFILL MATERIALS THAT HAVE BEEN APPROVED BY THE GOVERNING ENTITY. SEE NOTES BELOW.
2. ALL PROPOSED PIPE STUB OUTS FROM MANHOLES OR INLETS ARE TO BE PLUGGED WITH 8 INCH BRICK WALLS UNLESS OTHERWISE NOTED.
ALL BOX CULVERTS INSTALLED SHALL BE PLACED ON A MINIMUM OF 8 INCHES OF CEMENT STABILIZED SAND (CEMENT STABILIZED SAND SHALL BE 1/2 SACK CEMENT PER TON).
FOR INSTALLATION OF PRE-CAST CONCRETE BOX CULVERTS IN POOR SOIL CONDITIONS, A 7 INCH REINFORCED CONCRETE SLAB SHALL BE INSTALLED.
FOR INSTALLATION OF MONOLITHIC REINFORCED CONCRETE BOX CULVERTS IN POOR SOIL CONDITIONS, A 4 INCH THICK CLASS "C" CONCRETE SEAL SLAB SHALL BE INSTALLED, PRIOR TO CONSTRUCTION OF BOX CULVERTS.
STORM SEWER MANHOLES SHALL BE STANDARD PRE-CAST, UNLESS OTHERWISE NOTED.
3. ALL INLETS TO BE TO THE DETAIL SPECIFICATIONS SHOWN IN THE PLANS OR APPROVED EQUAL OR UNLESS OTHERWISE STATED ON PLANS. INLETS TO BE STANDARD DEPTH UNLESS OTHERWISE NOTED.
4. ALL STORM SEWER LEADS SHALL BE 18 INCH MINIMUM UNLESS OTHERWISE INDICATED. GRADE DROP ON LEADS BETWEEN INLETS TO BE A MINIMUM OF 0.20 FOOT. GRADE DROP BETWEEN INLET AND MANHOLES TO BE 0.20 FOOT UNLESS OTHERWISE SHOWN. WHEN MANHOLE FRAME AND COVER IS REQUIRED, USE EAST JORDAN 24" FRAME AND COVER (OR EQUAL).
5. FOR ADJUSTMENT OF MANHOLE LIDS USE STANDARD CONCRETE RINGS.
10. CONCRETE USED FOR ALL POURED-IN-PLACE MANHOLES, INLETS, WINGWALLS, HEADWALLS AND OTHER APPURTENANCES TO BE CLASS "A" CONCRETE WITH 3,000 P.S.I. STRENGTH AT 28 DAYS.
11. ALL EXPOSED CORNERS TO BE CHAMFERED 3/4".
NOTE: OTHER BACKFILL MATERIALS MAY BE USED, BASED ON THE GEOTECHNICAL REPORT, AS PER HOPE SPECIFICATIONS, SECTION 6.1. BACKFILL MUST BE USED WITH APPROPRIATE COMPACTION.
NOTE: SEE SPECIFICATIONS FOR THE USE OF HIGH DENSITY POLYETHYLENE PIPE FOR STORM DRAINS. SPECIFIC TECHNICAL INFORMATION MAY BE FOUND IN THE DESIGN MANUAL AND IN THE STREETS AND DRAINAGE SPECIFICATIONS.

WATER CONSTRUCTION NOTES:

- 1. CONTRACTOR SHALL PROVIDE ADEQUATE THRUST BLOCKING TO WITHSTAND TEST PRESSURE AS SPECIFIED IN THE APPLICABLE ENTITY STANDARD DRAWINGS AND REQUIREMENTS FOR WATER MAIN CONSTRUCTION AND MATERIALS.
2. PRIOR TO INSTALLATION OF WATER METER, WATER METER LEAD OR UNMETERED FIRE SPRINKLER LINE, THE CONTRACTOR SHALL CONTACT THE PERMIT DIVISION.
3. PRIOR TO WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER AND COMPLY WITH ALL REQUIREMENTS NECESSARY FOR THE ISSUANCE OF A WORK ORDER FOR THE WATER MAIN CONSTRUCTION.
4. SEPARATION DISTANCES FOR ALL WATER MAIN AND SANITARY SEWER MAIN CONSTRUCTION SHALL BE GOVERNED BY THE "TEXAS NATURAL RESOURCES CONSERVATION COMMISSION RULES AND REGULATIONS FOR DESIGN CRITERIA FOR SEWERAGE SYSTEMS", SECTION 317.20, LATEST PRINTING. REFER TO THE APPLICABLE ENTITY DESIGN MANUAL WATER MAIN DESIGN REQUIREMENTS
5. TWELVE-INCH (12") AND SMALLER MAINS SHALL HAVE A MINIMUM COVER OF FOUR FEET (4') FROM THE TOP OF THE CURB OR FIVE FEET (5') FROM THE MEAN ELEVATION OF THE BOTTOM OF THE NEARBY DITCH AND NEARBY RIGHT-OF-WAY ELEVATION FOR OPEN DITCH SECTIONS.
6. MAINS LARGER THAN TWELVE-INCHES (12") SHALL HAVE A MINIMUM COVER OF FIVE FEET (5') FROM THE TOP OF THE CURB OR SIX FEET (6') FROM THE MEAN ELEVATION FOR OPEN DITCH SECTIONS.
7. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED BEFORE BACTERIOLOGICAL TESTING IN ACCORDANCE WITH ANMA STANDARD C-601.
8. ALL WATER PIPING SHALL BE DISINFECTED AND BACTERIOLOGICALLY TESTED PRIOR TO USE IN ACCORDANCE WITH ANMA STANDARD C-601.
9. ALL WATER MAINS 4" THROUGH 12" SHALL BE C-900 (SDR-18). ALL WATER MAINS 14" THROUGH 36" SHALL BE C-905 (SDR-18).
10. PRIOR TO BACKFILLING OF ALL UNDERGROUND WATER LINES, INSTALL A CONTINUOUS #14 COPPER TRACER WIRE, LOCATED DIRECTLY OVER BURIED LINES AND ACCESSIBLE AT EACH VALVE STACK.
11. THE INSTALLATION OF ALL WATER LINES SHALL EXTEND ALONG THE ENTIRE LENGTH OF THE PROPERTY TO BE SERVED. WATER LINES THAT DEAD END SHALL EXTEND TO THE PROJECT LIMITS FOR FUTURE EXTENSIONS.
12. GATE VALVES SHALL BE LEFT OPENING AND ANMA APPROVED.

STORM WATER QUALITY NOTES:

- 1. IF THE PROJECT DISTURBS 10 ACRES, COVERAGE IS REQUIRED UNDER THE TPDES GENERAL PERMIT TXR150000 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. THE COSTS TO IMPLEMENT, INSPECT, AND MAINTAIN THE SWPPP SHALL BE CONSIDERED INCIDENTAL TO THE SWPPP BID ITEMS.
2. IF THE PROJECT DISTURBS GREATER THAN 5 ACRES, A NOTICE OF INTENT (NOI) SHALL BE SUBMITTED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) AT LEAST 7 DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TCEQ COMPLIANCE, PLAN IMPLEMENTATION AND MAINTENANCE DURING CONSTRUCTION. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL PROVIDE A COPY OF THE CONTRACTOR'S NOTICE OF INTENT (NOI) AND PROOF THAT IT HAS BEEN SENT TO THE TCEQ.
3. COPIES OF THE CONTRACTOR'S NOI AND CONSTRUCTION SITE NOTICE (CSN) SHALL BE POSTED AT THE SITE BY THE CONTRACTOR. COPIES SHALL ALSO BE SUBMITTED TO THE PROJECT OWNER AND ENGINEER. THE CONTRACTOR SHALL LAMINATE AND POST THE TWO NOIS, TWO CSNS AND ANY SECONDARY OPERATOR CSNS ON THE PROJECT SITE AT A LOCATION WITH EASY ACCESS TO THE PUBLIC FOR CLEAR VIEWING AND AS APPROVED BY THE ENGINEER. THE COST OF LAMINATION AND POSTING OF THE NOIS & CSNS SHALL BE CONSIDERED INCIDENTAL TO THE SWPPP BID ITEMS.
4. UPON COMPLETION OF CONSTRUCTION ACTIVITIES AND FINAL STABILIZATION OF THE SITE, AS DEFINED BY THE TPDES GENERAL PERMIT, A NOTICE OF TERMINATION (NOT) IS REQUIRED TO BE SUBMITTED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), WHEN DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE A COPY OF THE CONTRACTOR'S NOTICE OF TERMINATION (NOT) AND PROOF THAT IT HAS BEEN SENT TO THE TCEQ.
5. A RAIN GAUGE SHALL BE KEPT ON THE PROJECT SITE OR WITHIN THE IMMEDIATE PROJECT VICINITY. RECORDS OF RAINFALL EVENTS SHALL BE KEPT BY THE CONTRACTOR TO ASSIST WITH DETERMINING IF AN SWPPP SITE INSPECTION IS REQUIRED. THE COSTS FOR THE RAIN GAUGE SHALL BE CONSIDERED INCIDENTAL TO THE SWPPP BID ITEMS.
6. THE SWPPP, INSPECTION & MAINTENANCE REPORTS, CERTIFICATIONS, RAINFALL RECORDS, MAJOR GRADING DATE RECORDS AND TEMPORARY AND PERMANENT STABILIZATION DATE RECORDS SHALL BE KEPT CURRENT BY THE CONTRACTOR AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. COPIES OF THE ALL SWPPP RECORDS SHALL BE KEPT ON-SITE, IF FEASIBLE, UNTIL THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. THE SWPPP RECORDS SHALL BE MADE READILY AVAILABLE TO ENGINEER AND REGULATORY AUTHORITIES UPON AN ON-SITE INSPECTION. THE CONTRACTOR SHALL DELIVER COPIES OF ALL SWPPP RECORDS TO PROJECT OWNER AND ENGINEER AS DIRECTED BY THE ENGINEER.

Fix

File: S:\CAD Stand and Details\TCEQ\WATER DISTRIBUTION NOTES and Details\TCEQ\WATER DISTRIBUTION NOTES.pdf Missing or invalid reference

File: S:\CAD Stand and Details\TCEQ\WATER DISTRIBUTION NOTES.pdf Missing or invalid reference

File: S:\CAD Stand and Details\TCEQ\WATER DISTRIBUTION NOTES.pdf Missing or invalid reference

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MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
OFFICE: 936-445-0420 OFFICE: 936-447-0420

CLIENT INFORMATION
STLECKRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845
PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
CONSTRUCTION NOTES

DRAWING ISSUE table with columns: #, DATE, BY, * COMMENT

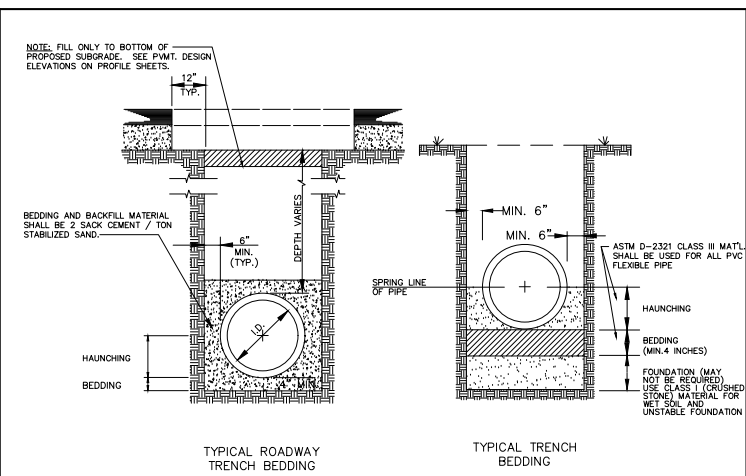
DRAWING INFORMATION table with columns: PROJECT, DRAWN, SCALE, SHEET

Professional Engineer seal for E. LEVI LOVE, JR., LICENSED PROFESSIONAL ENGINEER, 99340

CITY OF MONTGOMERY, CITY ENGINEER
SIGNATURE VALID FOR ONE (1) YEAR
DATE

10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



ASTM D 2321
Description of embedment materials

Class I
Angular, 1/4" to 1 1/2" graded stone, including a number of fill materials that have regional significance, such as coral, stog, chndrs, crushed stone and crushed shells.

Class II
Coarse sands and gravels with maximum particle size of 1 1/2", including variously graded sands and gravels containing small percentages of fines, generally granular and noncohesive, either wet or dry. Soil Types GW, GP, SW, and SP are included in this class.

Class III
Fine sand and clayey gravels including fine sands, sand-clay mixtures, and gravel-clay mixtures. Soil Types GM, GC, SM, and SC are included in this class.

Class IV
Silt, silty clays, and clays, including inorganic clays and silts of medium to high plasticity and liquid limits. Soil Types MH, ML, CH and CL are included in this class.

Class V
This class includes the organic soils OL, OH, and PT as well as silts containing frozen earth, debris, rocks larger than 1 1/2" in diameter, and other foreign materials. These materials are not recommended for bedding, haunching, or initial backfill.

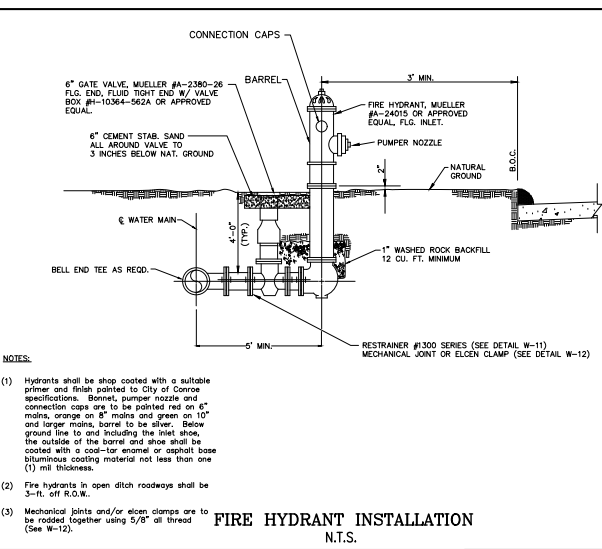
Foundation
A foundation is required when the trench bottom is unstable. Any foundation that will support a rigid pipe without causing loss of grade or flexural breaking will be more than adequate for PVC pipe.

Bedding
The bedding directly underneath the pipe is required only to bring the trench bottom up to grade. It should not be so thick or soft that the pipe will settle and lose grade. The purpose of the bedding is to provide a firm, stable and uniform support of the pipe. A layer of material sufficient to establish line, grade, and support should be placed. Bell holes should be excavated to insure uniform bearing.

Haunching
The haunching area is the most important in terms of limiting the deflection of a flexible pipe. This is the area that should be compacted to the required or specific density.

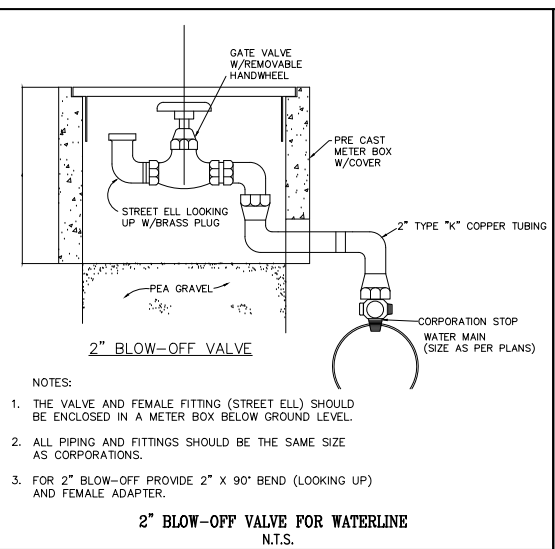
NOTE: BACKFILL ABOVE THE BEDDING SHALL CONFORM TO "TYPICAL WATERLINE BACKFILL AND TRENCH REPAIR" STANDARD DRAWING W-5.

TYPICAL WATERLINE BEDDING AND TRENCH DETAIL
N.T.S.



NOTES:

- Hydrants shall be shop coated with a suitable primer and finish painted to City of Corvallis specifications. Barrel, pumper nozzle and connection caps are to be painted red on 6" mains, orange on 8" mains and green on 10" and larger mains. Barrel to be silver. Below ground line to and including the inlet shoe, the outside of the barrel and shoe shall be coated with a coal-tar enamel or asphalt base bituminous coating material not less than one (1) mil thickness.
- Fire hydrants in open ditch roadways shall be 3-ft. off R.O.W.
- Mechanical joints and/or siren clamps are to be rodded together using 5/8" all thread (See W-12).



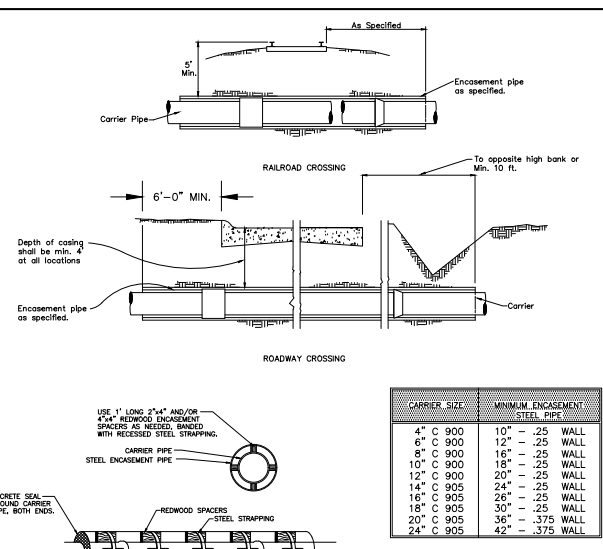
NOTES:

- THE VALVE AND FEMALE FITTING (STREET ELL) SHOULD BE ENCLOSED IN A METER BOX BELOW GROUND LEVEL.
- ALL PIPING AND FITTINGS SHOULD BE THE SAME SIZE AS CORPORATIONS.
- FOR 2" BLOW-OFF PROVIDE 2" X 90° BEND (LOOKING UP) AND FEMALE ADAPTER.

STANDARD BORED CROSSING (OR CASING) FOR WATERLINE
N.T.S.

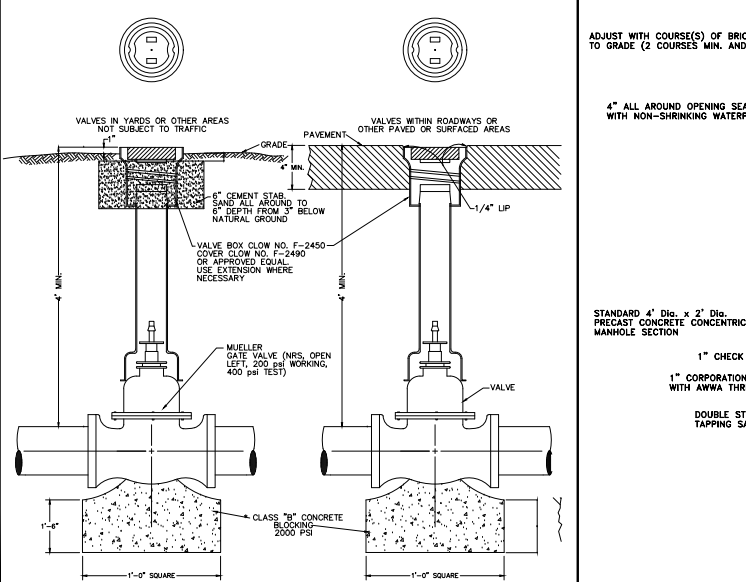
NOTES:

- SDR-9 service lead by contractor, with standard plastic meter box.
- Meter installed by the City of Montgomery.

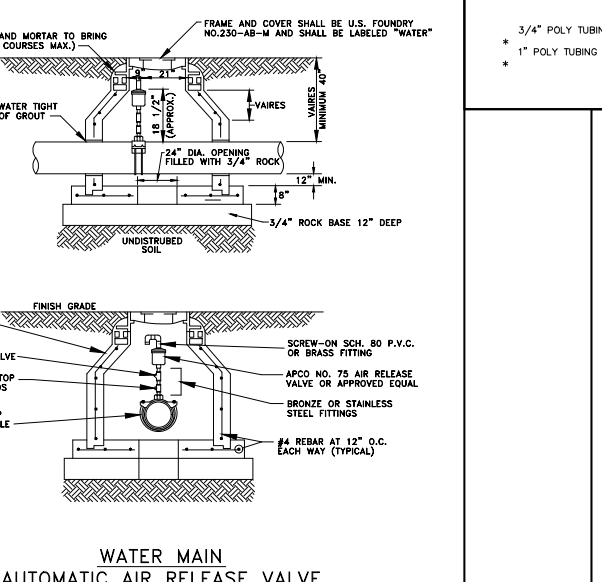


NOTES:

- Steel casing shall have totally welded joints.
- Steel casing shall be used in all bores.
- Contractor to obtain permits prior to any construction at these crossings.

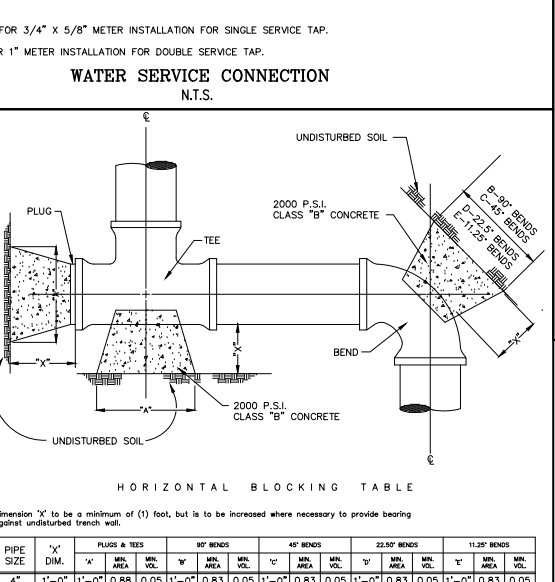


NOTE: BLOCK GATE VALVES WITH COMPRESSION JOINT FITTINGS ON 8" & LARGER LINES



NOTE: FOR LOCATION OF INSTALLATION SEE PLAN AND PROFILE SHEETS.

WATER MAIN AUTOMATIC AIR RELEASE VALVE



HORIZONTAL BLOCKING TABLE

Dimension "X" to be a minimum of (1) foot, but is to be increased where necessary to provide bearing against undisturbed trench wall.

PIPE SIZE	"X" DIM.	PLUGS & TEES		90° BENDS		45° BENDS		22.5° BENDS		11.25° BENDS		
		MIN. AREA	MIN. VOL.	MIN. AREA	MIN. VOL.	MIN. AREA	MIN. VOL.	MIN. AREA	MIN. VOL.	MIN. AREA	MIN. VOL.	
4"	1'-0"	0.88	0.05	1'-0"	0.83	0.05	1'-0"	0.83	0.05	1'-0"	0.83	0.05
6"	1'-6"	1.06	0.06	1'-2"	1.50	0.09	1'-0"	0.83	0.05	1'-0"	0.83	0.05
8"	1'-6"	1.89	0.11	1'-6"	2.66	0.15	1'-3"	1.44	0.08	1'-0"	0.83	0.05
10"	1'-6"	3.25	0.17	2'-0"	4.17	0.24	1'-6"	2.26	0.13	1'-3"	1.15	0.07
12"	1'-6"	4.25	0.24	2'-3"	6.00	0.34	1'-9"	3.25	0.18	1'-3"	1.65	0.10
16"	2'-0"	7.34	0.56	3'-0"	10.65	0.79	2'-3"	5.76	0.43	1'-8"	2.94	0.22
18"	2'-0"	11.70	0.57	3'-5"	10.89	0.82	2'-6"	5.89	0.44	1'-10"	3.01	0.22
20"	2'-0"	17.86	0.59	3'-9"	11.12	0.84	2'-9"	6.01	0.45	2'-0"	3.07	0.23
24"	2'-6"	11.33	0.84	4'-3"	16.00	1.20	3'-2"	8.65	0.65	2'-6"	4.42	0.33

NOTE: Calculations in Minimum Area column are in square feet. Calculations in Minimum Volume column are in cubic yards.

HORIZONTAL BLOCKING FOR WATERLINE
N.T.S.

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THE WOODLANDS, TEXAS 77381
OFFICE: 281-447-0800

CLIENT INFORMATION
STEELE CRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
WATERLINE DETAILS

DRAWING ISSUE

#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION

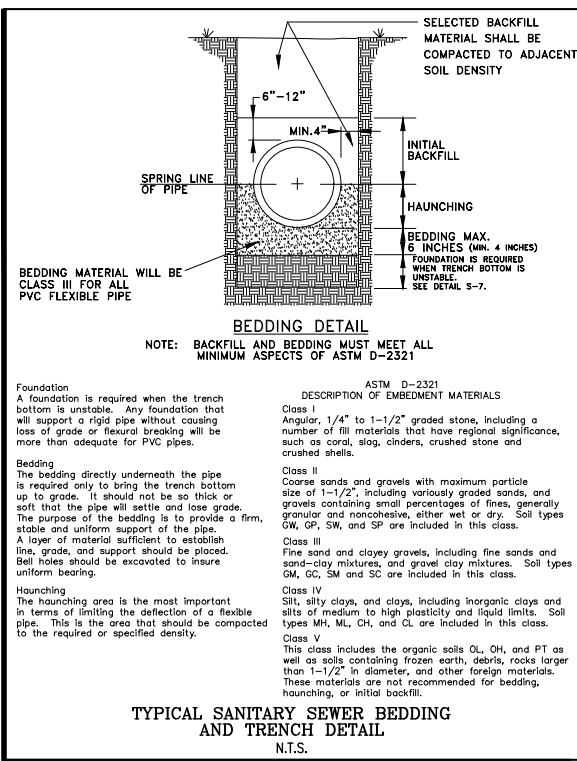
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DRAWN	CBJ	CHECKED	ELL
SCALE	NONE	SHEET	19

STATE OF TEXAS
E. LEVI LOVE, JR.
99340
LICENSED PROFESSIONAL ENGINEER

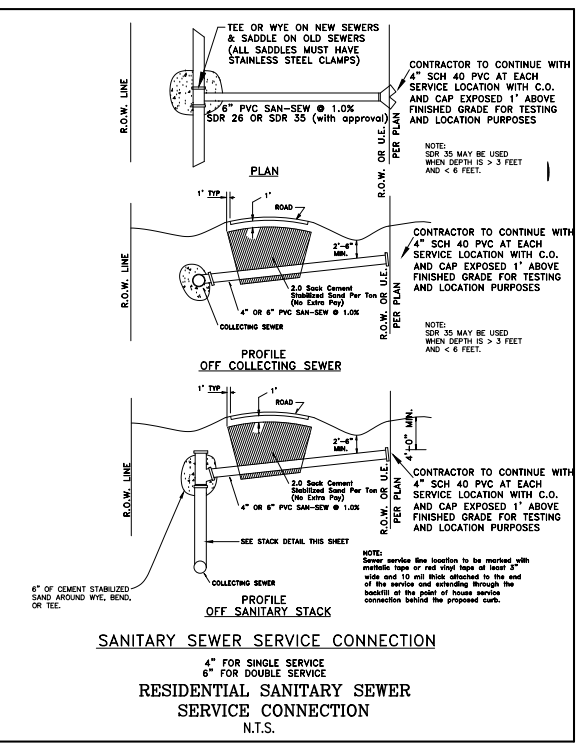
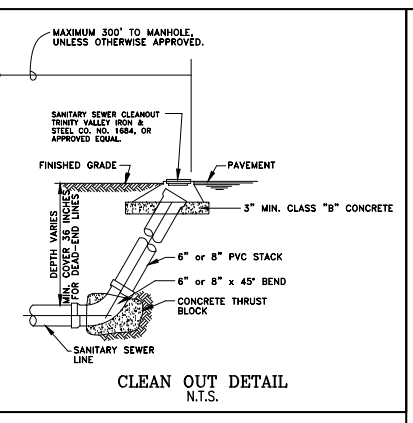
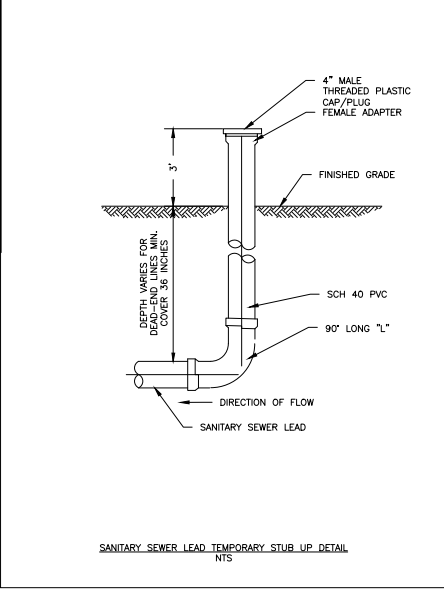
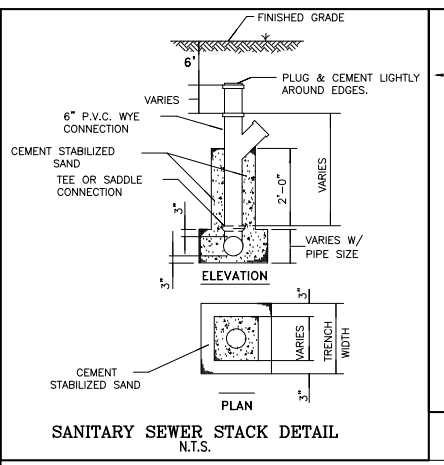
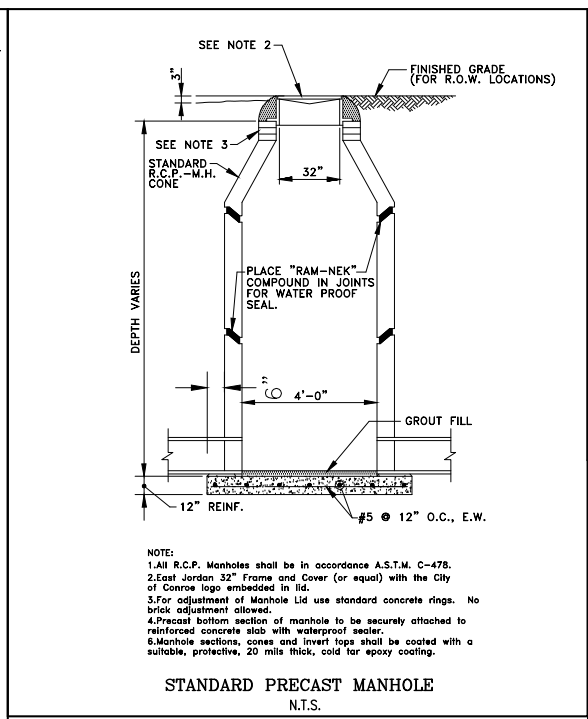
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TYPICAL SANITARY SEWER BEDDING AND TRENCH DETAIL
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CLIENT INFORMATION
 STILECRAFT BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH COLLEGE STATION, TX 77845

PROJECT ADDRESS
 EMMAS WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3 SANITARY SEWER DETAILS

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

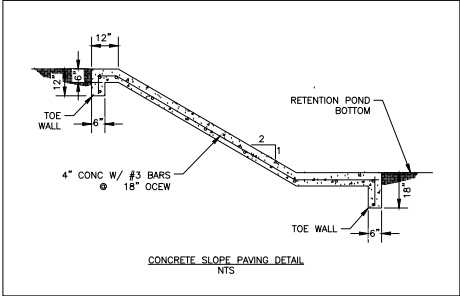
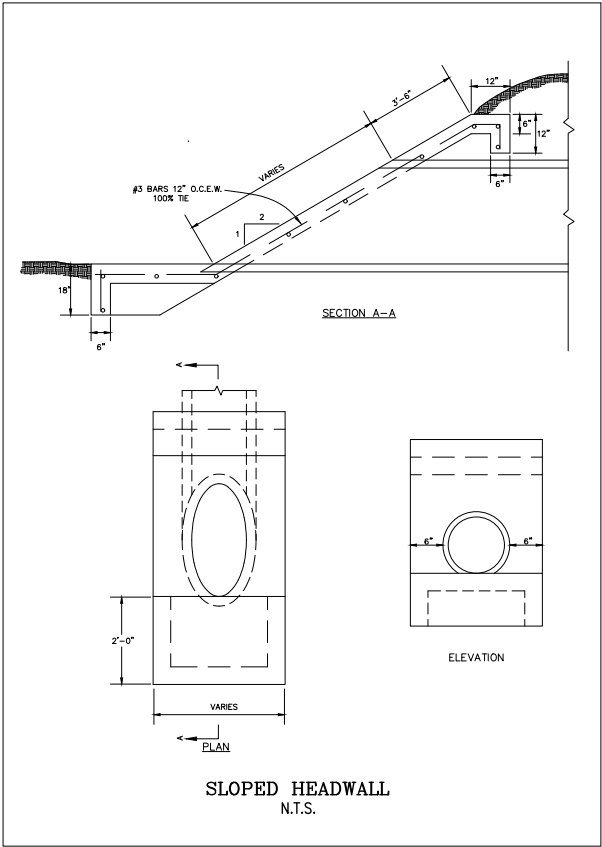
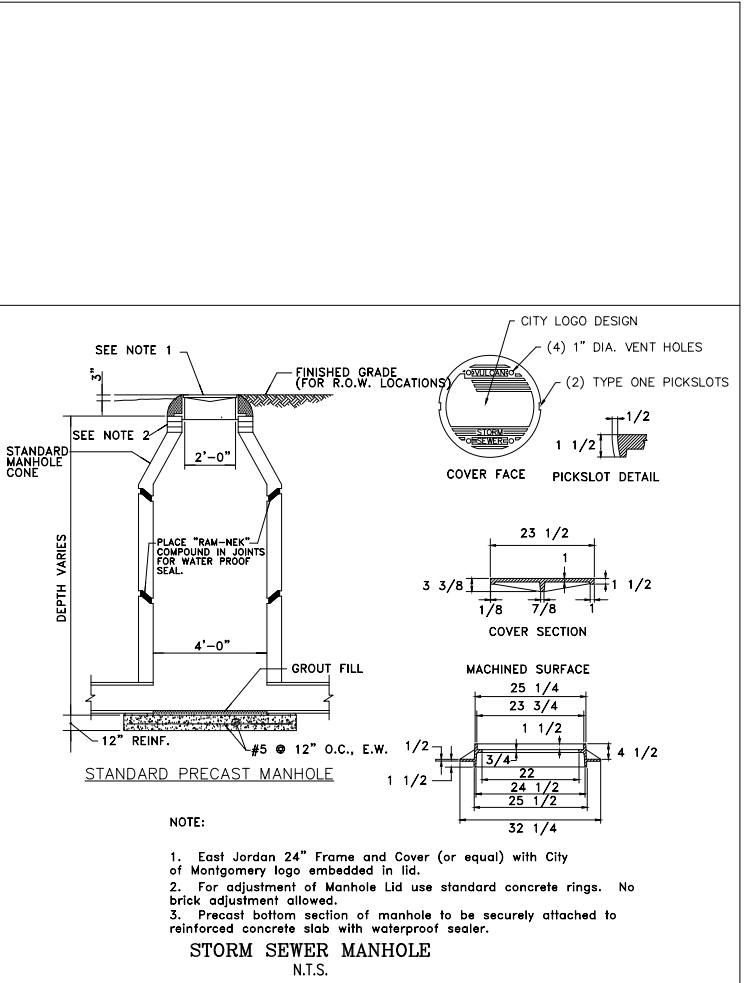
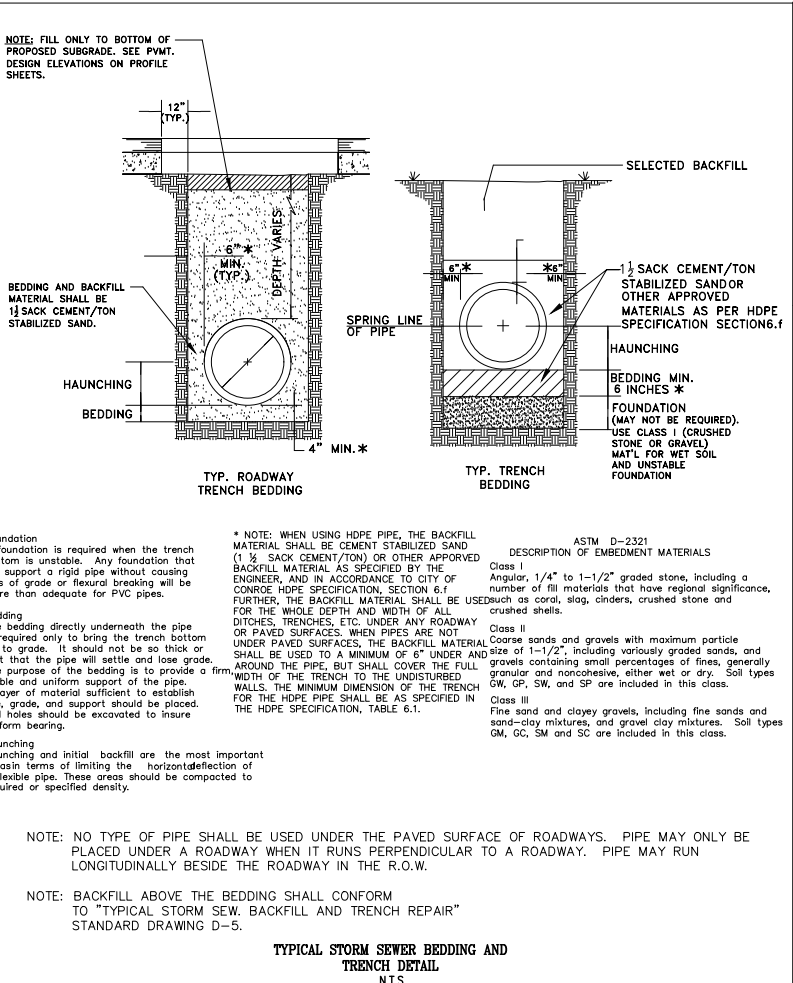
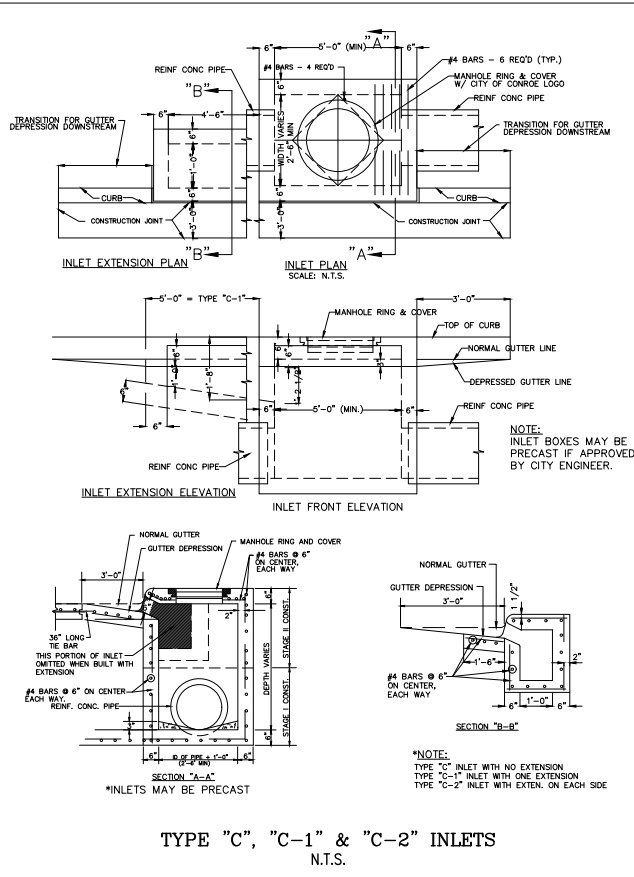
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DRAWN	CBJ	CHECKED	ELL
SCALE	NONE	SHEET	20



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PRO REGISTRATION NUMBER 111326

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CLIENT INFORMATION
STEELECREFT BUILDINGS, INC.
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COLLEGE STATION, TX 77845

PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK SECTION 3 STORM SEWER DETAILS

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION			
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DRAWN	CBJ	CHECKED	ELL
SCALE	NONE	SHEET	21

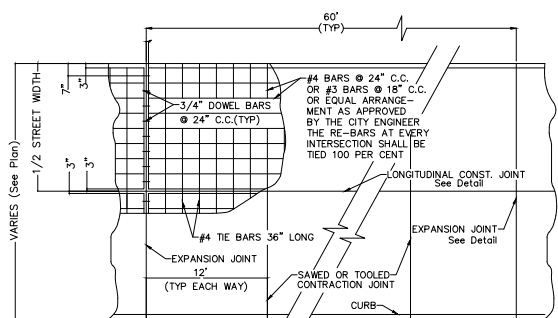


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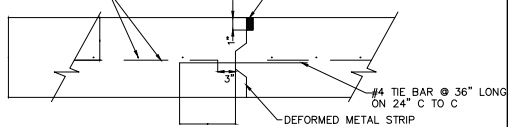
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10/06/2017

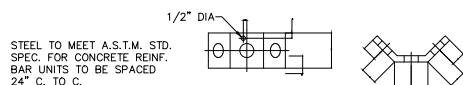
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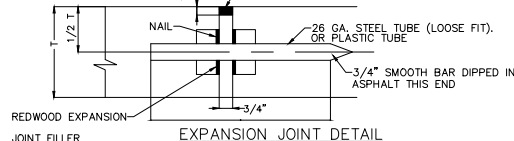
PAVING PLAN



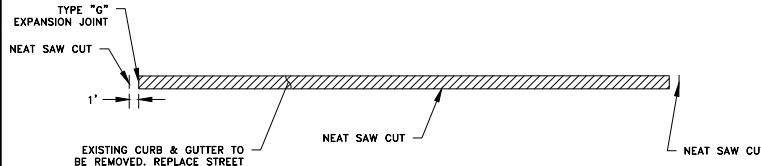
LONGITUDINAL CONST. JOINT DETAIL



EXPANSION JOINT DETAIL



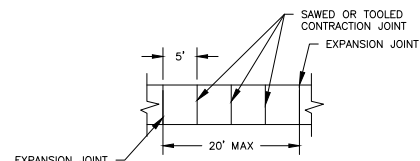
CONCRETE PAVEMENT
N.T.S.



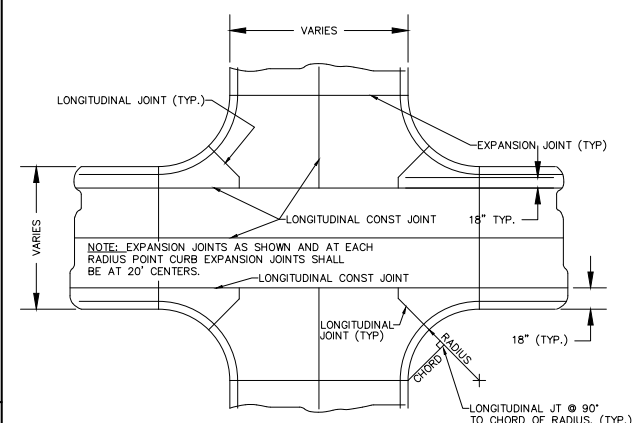
TYPICAL STREET CONCRETE APRON
N.T.S.

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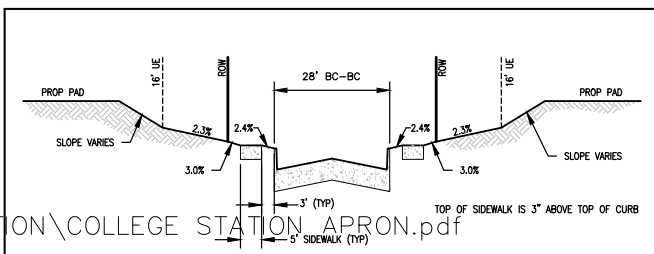
ROLL OVER CURB AND GUTTER
N.T.S.



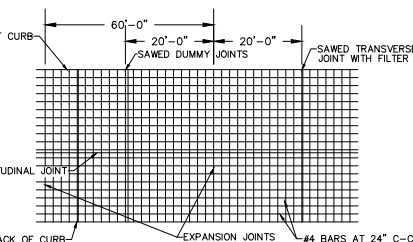
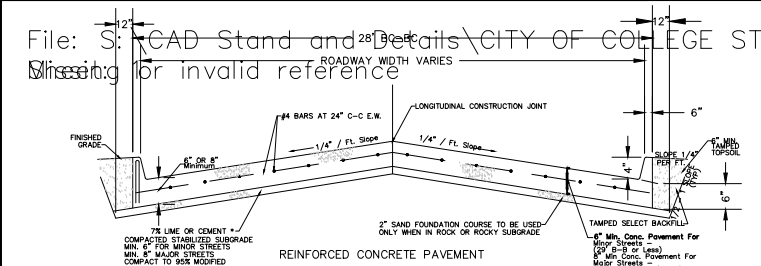
SIDEWALK JOINT DETAIL
N.T.S.



CONCRETE INTERSECTION
N.T.S.



TYPICAL LOT & ROAD CROSS SECTION
N.T.S.



TYPICAL RESIDENTIAL PAVING (CONCRETE)
N.T.S.

1. MUST BE FILLED BASED ON A GEOTECHNICAL REPORT SUBMITTED WITH THE PLANS FOR APPROVAL. THE GEOTECHNICAL REPORT SHALL INDICATE THE PERCENTAGE OF LIME OR CEMENT REQUIRED EVERY 200 FEET AT THE SUBGRADE DEPTH.

2. GEOTECH REPORT TO BE SUBMITTED TO CITY THAT VERIFIES PAVEMENT AND STABILIZATION DESIGN PRIOR TO CONSTRUCTION.

NOTE:

For Plasticity Index > 20 - Use Lime Stab.
For Plasticity Index < 10 - use Cem. Stab.
for Silty Clays - Use Lime - Fly Ash

For P.I. between 10 and 20, the lab certification is required if no stabilization is used.

Construct sawed joints at 20' centers. Expansion joints to be at intersections, bridges and other structures and at spacings not to exceed 60'. All joints to be properly sealed. A manually operated screed equipped with a power vibrator may be used. Hand finish shall be used when necessary.

S:\CAD Stand and Details\CITY OF CONROE\X-OLD\1203-Pavement\SIDEWALKS ON CORNER.tiff

SIDEWALK RAMP DETAIL
N.T.S.

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OFFICE: 281-443-9202 OFFICE: 281-443-0800

CLIENT INFORMATION
STYLCRAFT BUILDINGS, INC.
4090 STATE HWY 6 SOUTH
COLLEGE STATION, TX 77845
PROJECT ADDRESS
EMMA'S WAY
MONTGOMERY TEXAS

HILLS OF TOWN CREEK
SECTION 3
PAVING DETAILS

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION			
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	NONE	SHEET	22

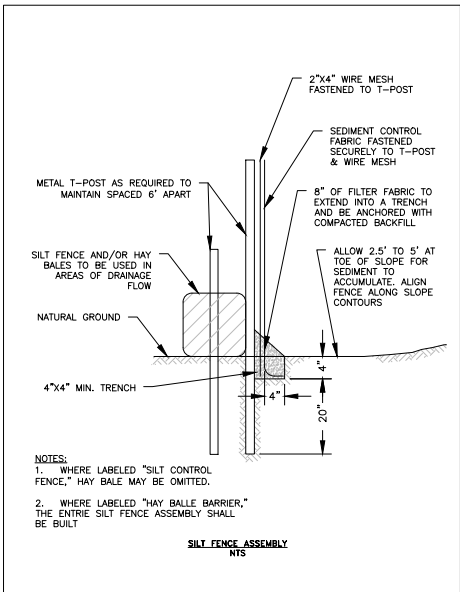


CITY OF MONTGOMERY, CITY ENGINEER
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DATE

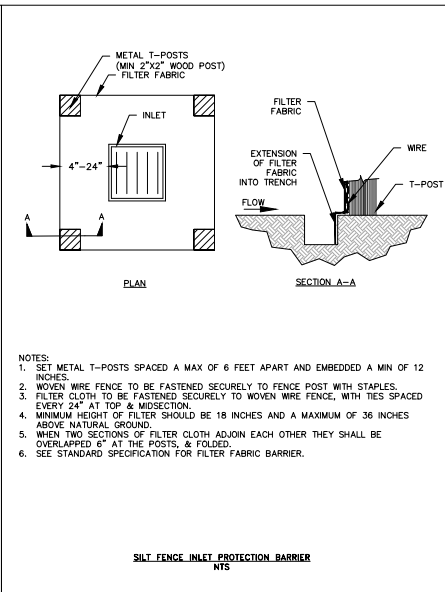
10/06/2017

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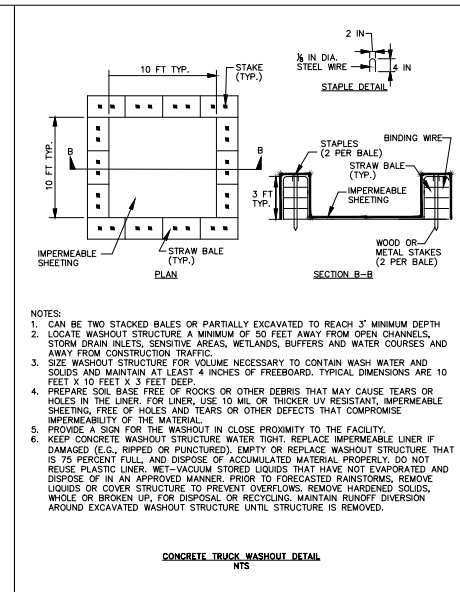
NOTES:
 1. WHERE LABELED "SILT CONTROL FENCE," HAY BALE MAY BE OMITTED.
 2. WHERE LABELED "HAY BALE BARRIER," THE ENTIRE SILT FENCE ASSEMBLY SHALL BE BUILT.

SILT FENCE ASSEMBLY
NTS



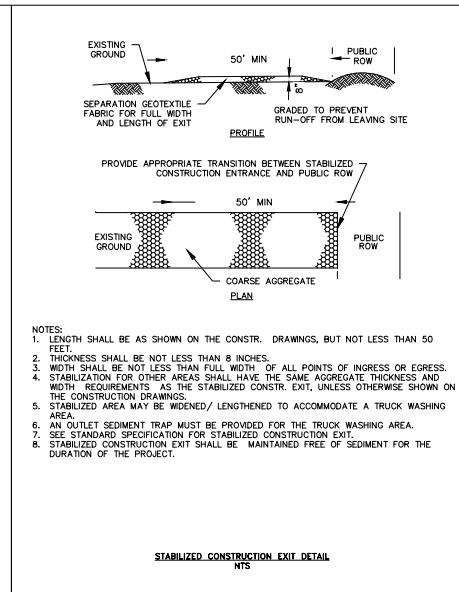
NOTES:
 1. SET METAL T-POSTS SPACED A MAX OF 6 FEET APART AND EMBEDDED A MIN OF 12 INCHES.
 2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH STAPLES.
 3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH TIES SPACED EVERY 24\"/>

SILT FENCE INLET PROTECTION BARRIER
NTS



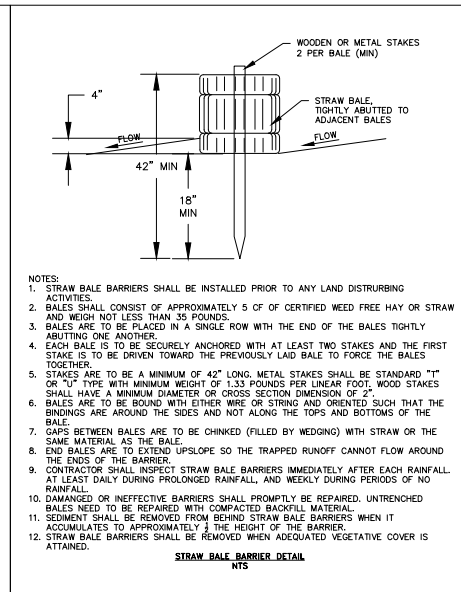
NOTES:
 1. CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3\"/>

CONCRETE TRUCK WASHOUT DETAIL
NTS



NOTES:
 1. LENGTH SHALL BE AS SHOWN ON THE CONSTR. DRAWINGS, BUT NOT LESS THAN 50 FEET.
 2. THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
 3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTR. EXIT, UNLESS OTHERWISE SHOWN ON THE CONSTR. DRAWINGS.
 5. STABILIZED AREA MAY BE WIDENED/LENGTHENED TO ACCOMMODATE A TRUCK WASHING AREA.
 6. AN OUTLET SEDIMENT TRAP MUST BE PROVIDED FOR THE TRUCK WASHING AREA.
 7. SEE STANDARD SPECIFICATION FOR STABILIZED CONSTRUCTION EXIT.
 8. STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED FREE OF SEDIMENT FOR THE DURATION OF THE PROJECT.

STABILIZED CONSTRUCTION EXIT DETAIL
NTS



NOTES:
 1. STRAW BALE BARRIERS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 2. BALES SHALL CONSIST OF APPROXIMATELY 5 CF OF CERTIFIED WEED FREE HAY OR STRAW AND WEIGH NOT LESS THAN 35 POUNDS.
 3. BALES ARE TO BE PLACED IN A SINGLE ROW WITH THE END OF THE BALES TIGHTLY ABUTTING ONE ANOTHER.
 4. EACH BALE IS TO BE SECURELY ANCHORED WITH AT LEAST TWO STAKES AND THE FIRST STAKE IS TO BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER.
 5. STAKES ARE TO BE A MINIMUM OF 42\"/>

STRAW BALE BARRIER DETAIL
NTS

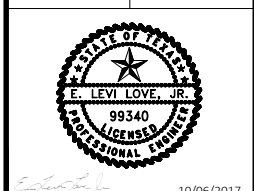
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 23123 EVA STREET #200 8505 TECHNOLOGY FOREST PL #202
 MONTGOMERY, TEXAS 77356 THE WOODLANDS, TEXAS 77381
 OFFICE: 281-445-0420 OFFICE: 281-447-0807

CLIENT INFORMATION
 STILLEGRAF BUILDINGS, INC.
 4090 STATE HWY 6 SOUTH
 COLLEGE STATION, TX 77845
 PROJECT ADDRESS
 EMMA'S WAY
 MONTGOMERY TEXAS

HILLS OF TOWN CREEK
 SECTION 3
 SWPPP DETAILS

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	10/06/17	ELL	PERMIT ISSUE

DRAWING INFORMATION			
PROJECT	10631	TDLR	**
DRAWN	CBJ	CHECKED	ELL
SCALE	NONE	SHEET	23



CITY OF MONTGOMERY, CITY ENGINEER
 SIGNATURE VALID FOR ONE (1) YEAR

DATE 10/06/2017

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



RENEWED CREATION
SUSTAINABLE LANDSCAPE
DESIGN SOLUTIONS

104 VALLEY CREEK ROAD
DENTON, TEXAS 76205
979.219.4090
RENEWEDCREATION@GMAIL.COM

Hills of town Creek

Montgomery, Texas

Date:
10-30-2016
11-4-2016

Site Plan

Sheet Name:
LS9
Sheet: 9 of

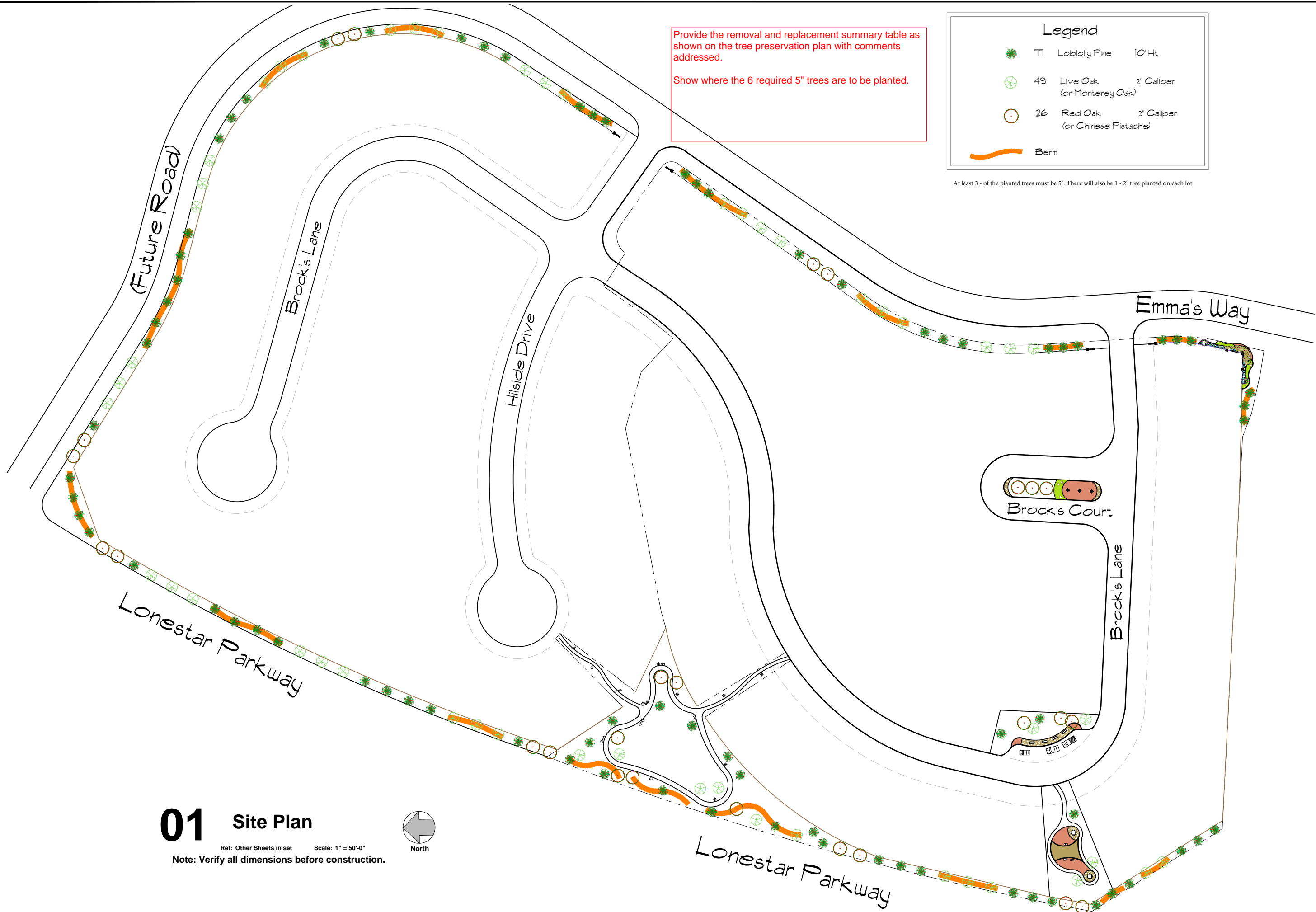
Legend

-  77 Loblolly Pine 10 Ht,
-  49 Live Oak 2" Caliper
(or Monterey Oak)
-  26 Red Oak 2" Caliper
(or Chinese Pistache)
-  Berm

At least 3 - of the planted trees must be 5". There will also be 1 - 2" tree planted on each lot

Provide the removal and replacement summary table as shown on the tree preservation plan with comments addressed.

Show where the 6 required 5" trees are to be planted.



01 Site Plan

Ref: Other Sheets in set Scale: 1" = 50'-0"

Note: Verify all dimensions before construction.



AGENDA REPORT

Meeting Date: October 23, 2017	Budgeted Amount:
Department:	
Prepared By: Jack Yates City Administrator	Exhibits: E-mails between Jack Yates and Larry Foerster, Future Land Use Plan of October 2017
Date Prepared: October 18, 2017	

Subject

Consideration of approval of land use plan as an informal guide to development in the city.

Description

The emails between the City Administrator and City Attorney are attached which gives the background to this item. Basically, the memos state that unless a Comprehensive Plan has been adopted by the City, a Land-Use Plan cannot be adopted as a formal document. Taken this as a premise, the City Administrator asked the City Attorney if this if the Planning Commission could recommend to the City Council that the Council adopt the land use plan as an internal document such as a Drainage Study or Mobility Study that following adoption is used as an internal guide – – but not as a formal requirement – – for any actions regarding planning or zoning. The City Attorney replied that the City Council can adopt that the land-use plan is an informal guide.

So, as a practical matter, the Planning Commission may recommend the land-use plan worked on over these past several months to the City Council as an informal guide to planning and zoning decisions in the future.

Montgomery City Council
AGENDA REPORT

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Recommendation

Recommend the attached Future Land-Use Plan to the city Council for them to adopt and use as an informal guide for planning and zoning decisions in the future.

Approved By

City Administrator

Jack Yates

Date: October 18, 2017

RE: Land Use Plan -
Inbox x

Larry Foerster

to me

I agree, Jack. I think the city council could adopt it as an informal guide.

Larry L. Foerster
Darden, Fowler & Creighton, LLP
414 West Phillips, Suite 100
Conroe, Texas 77301
Office 936-756-3337
Fax 936-756-2606
Email foerster@dfcllp.com

Sept. 21st
2:00 p.m.

For more information about our law firm, please go to www.dfcllp.com

*****CONFIDENTIAL NOTICE*****

This message may contain confidential or privileged information under an attorney-client relationship. It is intended only for the use of the individual or entity to whom it is addressed. Any other dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify Larry L. Foerster at the law firm of Darden, Fowler & Creighton, LLP immediately by replying to this email and deleting the original message and any copies you may have made of this email. Thank you.

From: Yates, Jack [mailto:jyates@ci.montgomery.tx.us]
Sent: Thursday, September 21, 2017 10:49 AM
To: Larry Foerster <foerster@dfcllp.com>
Subject: Land Use Plan -

Larry, since we are unable to find where the city has ever adopted a Comprehensive Plan, nor a Land Use Plan--- Where does that put us for adopting a Land Use Plan now. I don't think that a formal adoption is necessary as long as the Planning Commission and City Council, by a formal Resolution or as a simple motion in a meeting- agree to use the proposed Land Use Plan as an informal guide for consideration of future land use decisions. As such, it would not be binding in any way on the Planning Commission or the City Council but could simple be an "internal document" approved such as a Drainage Study or Mobility Study that is approved by the Council.

Sept.
21st
10:49
a.m.

What do you think??

Larry, I need an ordinance that accomplishes this intent.

Jack



Yates, Jack <jyates@ci.montgomery.tx.us>

Re: Land Use Map

1 message

Yates, Jack <jyates@ci.montgomery.tx.us>

Thu, Aug 31, 2017 at 2:58 PM

To: Larry Foerster <foerster@dfcllp.com>

Cc: "Ed Shackelford (EShackelford@jonescarter.com)" <EShackelford@jonescarter.com>, Chris Roznovsky <CRoznovsky@jonescarter.com>, Susan Hensley <shensley@ci.montgomery.tx.us>

The Planning Commission and City Council want to determine a planned (but not required only for planning purposes) use for the land in the city and in the ETJ not to be binding but for them to give some advance thought to how the land would be agreeable to the Commission and the Council. The basic reason for the Plan is to pre-think about where high density and low density land would be approved for variances. I suppose that if there was another way to give a decision (even through a resolution that was non binding) that would be all right and accomplish part of the purpose.. In city planning it is thought a good action to have a long-range plan for your in-city and ETJ planned uses, to give an assistance to property owners and the Commission and Council about how to consider zoning requests and development.

Aug. 31st

Jack

On Thu, Aug 31, 2017 at 10:51 AM, Larry Foerster <foerster@dfcllp.com> wrote:

I need more information before I can prepare an ordinance or the city can call a hearing. Chapter 212.044 provides that there must be detailed plans and rules that are incorporated into an ordinance which can be passed after the hearing. The Land Map without more information explaining the Map is not helpful. What is the Planning Commission wanting to accomplish?

Aug. 31st

I would expect 15 days published notice would be satisfactory (the statute does not say).

Larry L. Foerster

Darden, Fowler & Creighton, LLP

From: Yates, Jack [mailto:jyates@ci.montgomery.tx.us]

Sent: Tuesday, August 29, 2017 3:48 PM

To: Larry Foerster <foerster@dfcllp.com>; shensley <shensley@ci.montgomery.tx.us>

Subject: Fwd: Message from "RNP002673A87377"

Larry and Susan:

The Planning Commission wants to adopt a Land Use Map (attached). Last night the Commission called a public hearing for September 25, 2017 I think the state law that applies for Land Use Plan adoption is 212.044 of the Local Government Code (attached). Do you agree?

Aug. 29th

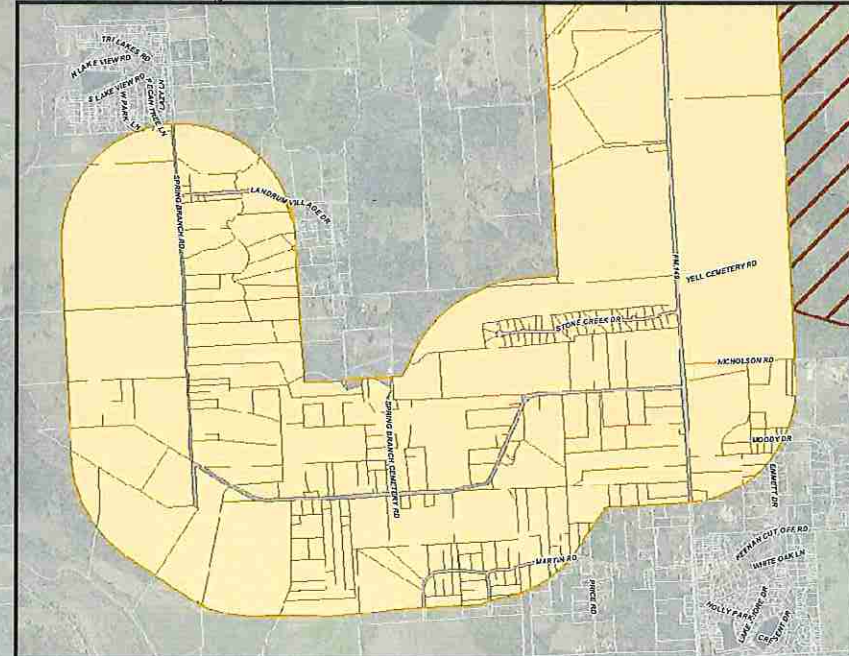
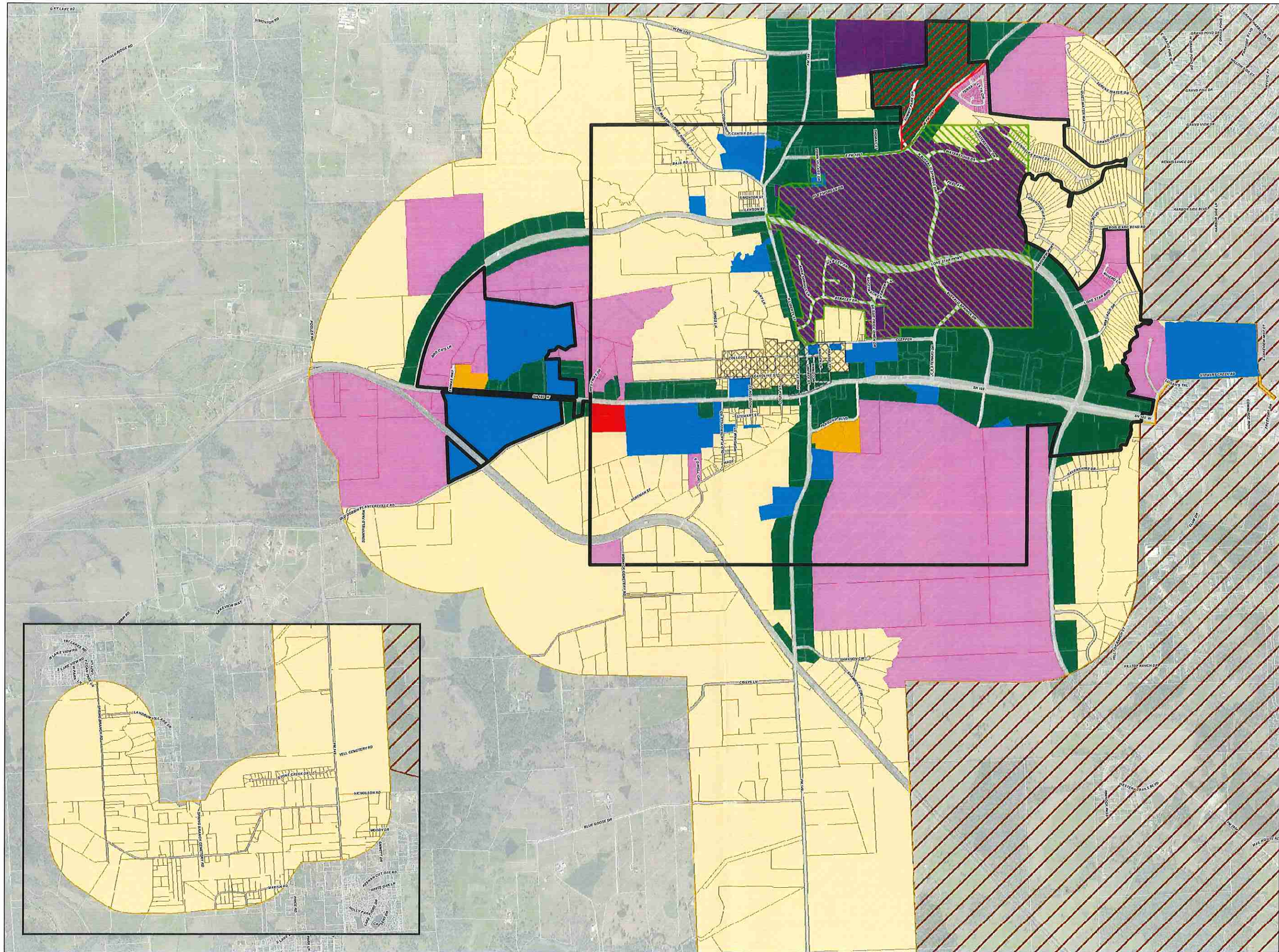
If so, who,how do I notify/advertise the public hearing??

Larry Foerster

to me, EShackelford, Chris, Susan

Jack, Section 211.004 TLGC provides that zoning regulations must be adopted in accordance with a "comprehensive plan." None of us were around when the zoning ordinance was passed years ago, but I assume that there was a comprehensive plan that was approved by city council which could now be updated to include the long-range plan that the City Planning Commission wants for the City.

Larry L. Foerster



VICINITY MAP
Scale: 1 inch equals 20 miles

LEGEND

- Base Layers**
- City Limits
 - Planned Development District No. 1 (LeFevre) - 2014
 - Planned Improvement District No. 1 (Ogorchok) - 2014
 - Historic District
 - City ETJ
 - City of Conroe ETJ
 - MCAD Parcels
 - Commercial
 - Industrial
 - Institutional
 - Multi-Family
 - Planned Development District
 - Residential - High Lots less than 9,000 SF
 - Residential - Low Lots greater than 9,000 SF

*Aerial Imagery from January 2016



FUTURE LAND USE PLAN
OCTOBER 2017



1 inch equals 1,000 feet

Disclaimer:
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Coordinate System: NAD 83 TX CENTRAL 4203 FEET
Vertical Datum: HAWD 1988 - 2001 Adjustment